

# ASA Submittal . Main Street Cupertino Loft Residences

## STEVENS CREEK BOULEVARD @ FINCH CUPERTINO, CA

Architect  
**DNA**  
 design and architecture  
 14511 franklin ave. suite 145 tustin ca 92  
 714 389 1890

### PROJECT TEAM

**OWNER/DEVELOPER**  
 MAIN STREET CUPERTINO AGGREGATOR LLC  
 203 REDWOOD SHORES PARKWAY, SUITE 200  
 REDWOOD SHORES, CA 94065  
 CONTACT: KEVIN DARE  
 NANDY KUMAR  
 PHONE: 650-344-1500

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 DNA DESIGN AND ARCHITECTURE  
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 TUSTIN, CA 92780  
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 PHONE: 714-389-1890

**CIVIL ENGINEER**  
 SANDIS  
 936 E. DUANE AVENUE  
 SUNNYVALE, CA 94085  
 CONTACT: KEN OLCOTT  
 STEVE YAZALINA  
 PHONE: 408-636-0900

**LANDSCAPE ARCHITECT**  
 THE GUZZARDO PARTNERSHIP, INC.  
 181 GREENWICH STREET  
 SAN FRANCISCO, CA 94111  
 CONTACT: GARY LAYMON  
 PHONE: 415-433-4672

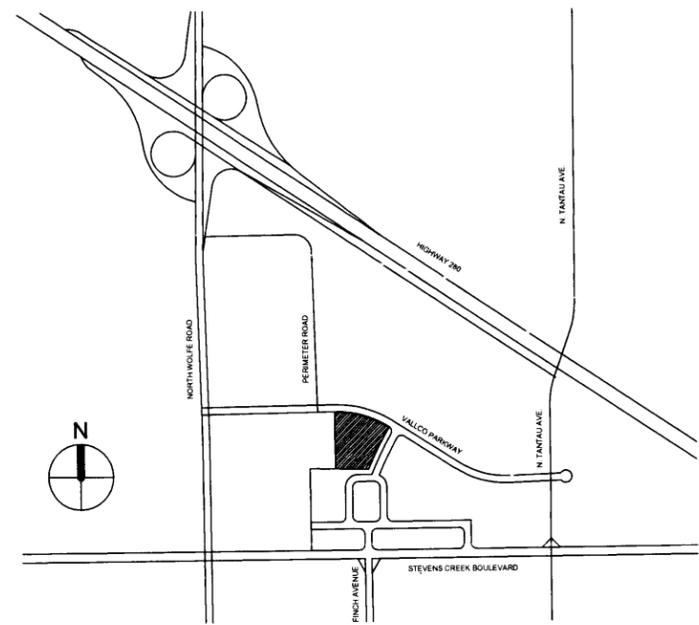
**PARKING GARAGE ENGINEER**  
 INTERNATIONAL PARKING DESIGN INC.  
 1201 MARINA VILLAGE PARKWAY, SUITE 100  
 ALAMEDA, CA 94501  
 CONTACT: RAJU NANDWANA  
 PHONE: 510-473-0300

**LIGHTING CONSULTANT**  
 LIGHTING DESIGN ALLIANCE  
 2830 TEMPLE AVENUE  
 LONG BEACH, CA 90806  
 CONTACT: ANDY POWELL  
 PHONE: 562-989-3843

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### VICINITY MAP



APPROVAL ASA-2013-09  
 Planned Commission  
 City Council 7-15-14  
 Signature: G. Schroeder

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Client/Owner  
**MAIN STREET CUPERTINO  
 AGGREGATOR, LLC**  
 203 REDWOOD SHORES PKWY  
 SUITE 200  
 REDWOOD CITY, CA 94065

Project  
**MAIN STREET CUPERTINO  
 LOFT RESIDENCES**  
 19640 VALCO PKWY.  
 CUPERTINO, CA 95014

**ASA  
 SUBMITTAL**

Issues & Revisions

No.	Date	Description
12.11.2013	ASA 1st PLAN REVIE	
12.18.2013	TYPE-I ONLY 1st PLAN I	
02.20.2014	CD PROGRESS SET	
03.26.2014	ASA 2nd PLAN REVII	
04.02.2014	TYPE-I ONLY 2nd PLAN	
06.13.2014	TYPE-I ONLY PERMIT	
06.20.2014	ASA 3rd PLAN REVIE	

### ZONING SUMMARY

**CITY OF CUPERTINO SITE REQUIREMENTS/CONSTRAINTS SUMMARY**

NOTE: BOTH GENERAL PLAN AND HEART OF THE CITY PLAN DEVELOPMENT STANDARDS APPLY TO THIS SITE.

GENERAL PLAN PREVAILS OVER HEART OF THE CITY PLAN FOR HEIGHT RESTRICTIONS

HEART OF THE CITY PLAN PREVAILS OVER GENERAL PLAN FOR SETBACK RESTRICTIONS

MAXIMUM BUILDING HEIGHT: 45 FEET AND 60 FEET WITH RETAIL COMPONENT

ROOFTOP MECHANICAL EQUIPMENT, UTILITY STRUCTURES AND ARCHITECTURAL FEATURES MAY EXCEED STIPULATED HEIGHT

REQUIRED SETBACKS: PER APPROVED MASTER SITE PLAN DATED 9-4-2012

VALLCO: 20 FEET

COMMON OPEN SPACE: 150 SF/UNIT

PRIVATE OPEN SPACE: 60 SF/UNIT

STORAGE: 150 CF/UNIT

PARKING: 1.8 SPACES/UNIT

BICYCLE PARKING: 40% OF UNIT TOTAL

LOT SIZE: 1.6 ACRES

### PROJECT SUMMARY

AP	UNIT TYPE	GROSS AREA	NET AREA	STORAGE	PRIVATE OPEN SPACE	L1	L2	L3	L4	L5	TOTAL UNITS	PARKING REQ.	NET AREA
SA	(Studio)	558	556	515	150			3	3	3	9	16	4,635
SA-A	(Studio)	557	557	515	150				1	1	2	4	1,030
SA-B	(Studio)	559	559	515	150			1	1	1	3	5	1,543
SA-C	(Studio)	565	565	515	150	87	134		1	1	2	4	1,030
SB	(Studio)	578	578	547	150	72	216		1	1	3	5	1,841
SC-1	(Studio+Work-downstairs)	558	1060	515	150	156		1			1	2	978
SC-2	(Studio+Work-upstairs)	504	463	978		156		1					
SC-1_A	(Studio+Work-downstairs)	565	1078	515	150	70	70	1	1		1	2	978
SC-2_A	(Studio+Work-upstairs)	513	463	978	70	558		1	4	4	9	16	6,516
1A	(1BR/1BA)	803	803	724	150	62	864	4	4	4	12	22	9,300
1B	(1BR/1BA)	843	843	780	150	72	864	9	19	5	33	59	26,116
1D	(1BR/1BA)	913	913	862	150	65	2,145				3	5	2,535
1D-A	(1BR/1BA)	905	905	845	150	61	183		2	1	3	5	2,846
1D-B	(1BR/1BA)	908	908	846	150	65	65		1		1	2	845
1D-C	(1BR/1BA)	910	910	845	150	61	61		1	1	2	5	2,592
1E	(1BR/1BA)	934	934	864	150	68	264		1	1	3	5	2,475
1F	(1BR/1BA)	907	907	825	150	317	951		1	1	3	5	12,100
1G-4	(1BR+Loft-downstairs)	913	1233	856	150	65	715			11	11	11	0
1G-5	(1BR+Loft-upstairs)	320	242	1100									2,1075
1G-4A	(1BR+Loft-downstairs)	905	1163	845	150	61	61			1	1	1	0
1G-5A	(1BR+Loft-upstairs)	228	230	1075									2,1095
1G-4B	(1BR+Loft-downstairs)	906	1175	853	150	61	61			1	1	1	0
1G-5B	(1BR+Loft-upstairs)	287	242	1095									1,100
1G-4C	(1BR+Loft-downstairs)	913	1233	856	150	61	61			1	1	1	3,300
1G-5C	(1BR+Loft-upstairs)	320	242	1100						3	3	3	0
1G-4D	(1BR+Loft-downstairs)	913	1233	856	150	61	183						0
1H-1	(1BR+Work-downstairs)	803	1505	729	75	50		3					4,178
1H-2	(1BR+Work-upstairs)	752	683	1392	75	82	338		12	3			0
1J-1	(1BR+Work-downstairs)	864	1777	842	75	53							19,452
1J-2	(1BR+Work-upstairs)	864	1777	779	1621	75	61	1,368		12			2,1820
1J-1A	(1BR+Work-downstairs)	905	1761	835	75	53							0
1J-2A	(1BR+Work-upstairs)	866	1786	786	1620	75	65	118		1			2,1820
1J-1B	(1BR+Work-downstairs)	910	1768	845	75	71							0
1J-2B	(1BR+Work-upstairs)	868	1786	785	1630	75	67	138		1			2,1830
TOTALS						8,706		40	40	40	120	218	110,670

**NON-RESIDENTIAL SUMMARY**

TYPE	AREA
RETAIL (GROSS)	10,081
RETAIL BACK OF HOUSE	(2736)
LEASING	2,079
AMENITY AREAS	6,387

**RESIDENTIAL PARKING SUMMARY**

LEVEL	STALLS
P1	123
P2	103
TOTAL	226

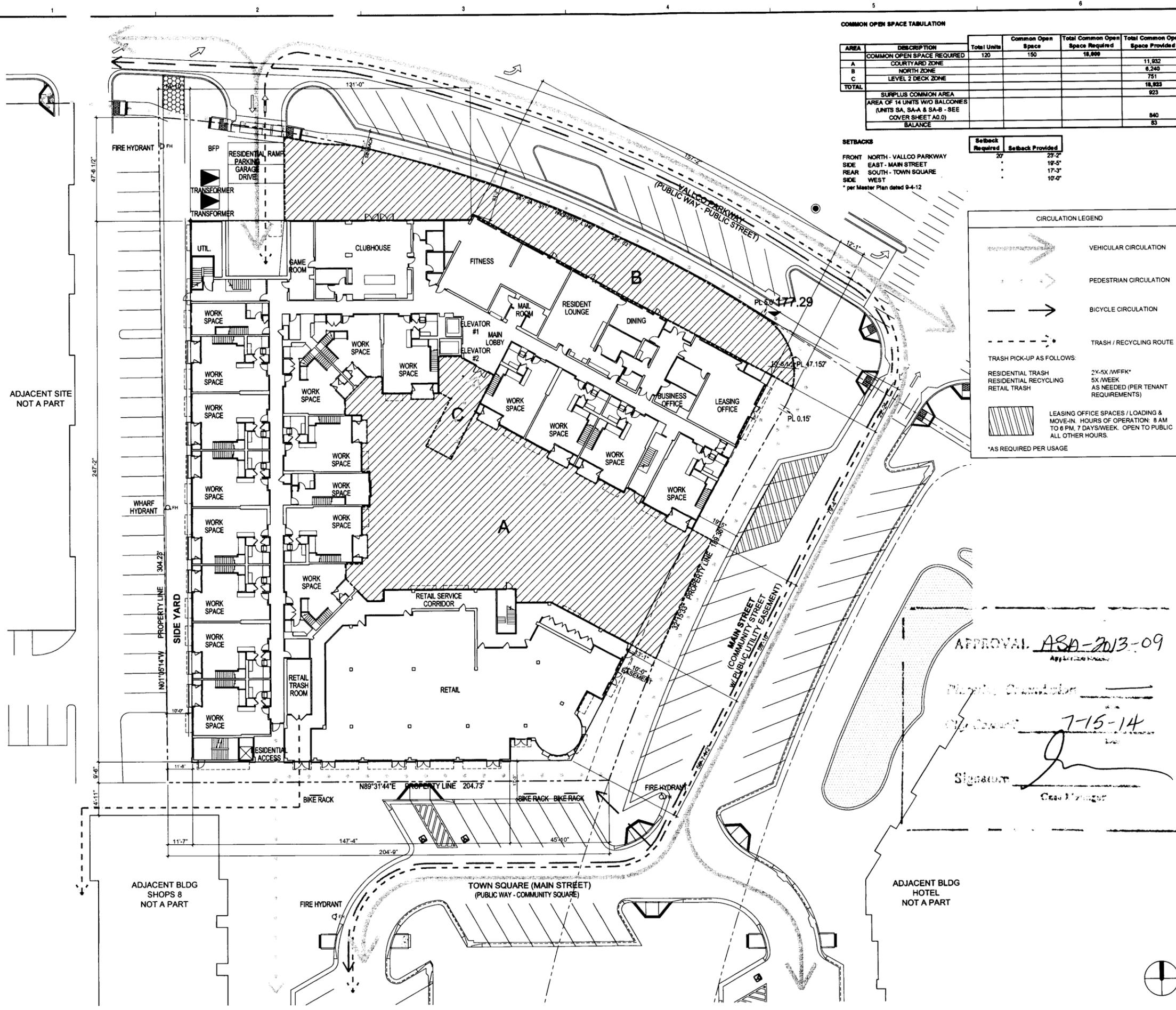
**BICYCLE PARKING SUMMARY**

LOCATION	STALLS
LEVEL P1	52
LEVEL P2	10
GROUND LEVEL	6
TOTAL	68

Project Number: 12-121  
 Scale:  
 Sheet Title  
**COVER SHEET**

Sheet Number  
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**COMMON OPEN SPACE TABULATION**

AREA	DESCRIPTION	Total Units	Common Open Space	Total Common Open Space Required	Total Common Open Space Provided
<b>COMMON OPEN SPACE REQUIRED</b>					
A	COURTYARD ZONE	120	150	18,808	11,932
B	NORTH ZONE				6,240
C	LEVEL 2 DECK ZONE				751
<b>TOTAL</b>					<b>18,823</b>
<b>SURPLUS COMMON AREA</b>					
AREA OF 14 UNITS W/O BALCONIES (UNITS SA, SA-A & SA-B - SEE COVER SHEET A0.0)					
					840
					83

**SETBACKS**

	Setback Required	Setback Provided
FRONT NORTH - VALLCO PARKWAY	20'	23'-2"
SIDE EAST - MAIN STREET		19'-5"
REAR SOUTH - TOWN SQUARE		17'-3"
SIDE WEST		10'-0"

\* per Master Plan dated 9-4-12

**CIRCULATION LEGEND**

- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION
- BICYCLE CIRCULATION
- TRASH / RECYCLING ROUTE

TRASH PICK-UP AS FOLLOWS:

- RESIDENTIAL TRASH: 2X/5X/WEEK
- RESIDENTIAL RECYCLING: 5X/WEEK
- RETAIL TRASH: AS NEEDED (PER TENANT REQUIREMENTS)

LEASING OFFICE SPACES / LOADING & MOVE-IN. HOURS OF OPERATION: 8 AM TO 6 PM, 7 DAYS/WEEK. OPEN TO PUBLIC ALL OTHER HOURS.

\*AS REQUIRED PER USAGE

Architect  
**DNA**  
 design and architecture  
 14511 franklin ave. suite 145 tustin ca 92711  
 714 389 1890

Client/Owner  
**MAIN STREET CUPERTINO**  
**AGGREGATOR, LLC**  
 203 REDWOOD SHORES PKWY  
 SUITE 200  
 REDWOOD CITY, CA 94065

Project  
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**LOFT RESIDENCES**  
 19640 VALLCO PKWY.  
 CUPERTINO, CA 95014

**ASA**  
**SUBMITTAL**

**Issues & Revisions**

No.	Date	Description
12-11-2013	ASA 1st PLAN REVIEW	
12-18-2013	TYPE-1 ONLY 1st PLAN RE	
02-20-2014	CD PROGRESS SET	
03-26-2014	ASA 2nd PLAN REVIEW	
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06-13-2014	TYPE-1 ONLY PERMIT \$	
06-20-2014	ASA 3rd PLAN REVIEW	

APPROVAL: ASA-2013-09  
 Approved by: \_\_\_\_\_  
 Date: 7-15-14  
 Signature: \_\_\_\_\_

Project Number: 12-121  
 Scale: 1/16" = 1'-0"  
 Sheet Title  
**OPEN SPACE DIAGRAM**  
**SETBACKS & CIRCULATION**  
 Sheet Number  
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APPROVAL: ASA-2013-09  
Applying Period

Planning Commission \_\_\_\_\_

City Council 7-15-14

Signature \_\_\_\_\_  
Case Manager

**TABULATION**

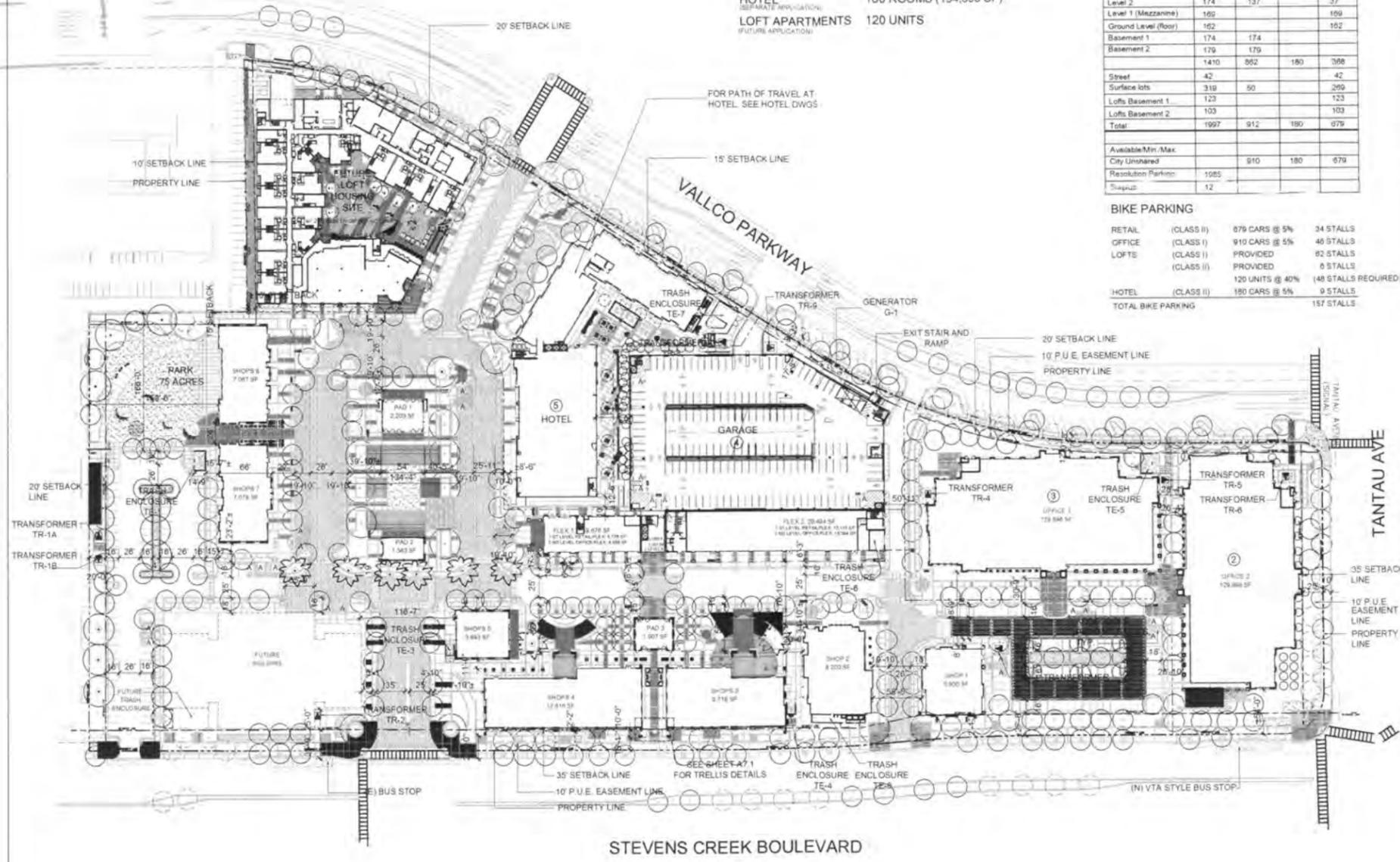
OFFICE	256,568 SF
RETAIL	3,226 SF
RETAIL	128,753 SF <small>(13,147 sq ft of Retail (at Hotel) (at parking garage))</small>
HOTEL	180 ROOMS (134,568 SF) <small>(SEPARATE APPLICATION)</small>
LOFT APARTMENTS	120 UNITS <small>(FUTURE APPLICATION)</small>

**AUTO PARKING**

FLOOR	COUNT	OFFICE	HOTEL	RETAIL
Parking Garage	200	20	180	
Level 5	200			
Level 4	176	176		
Level 3	176	176		
Level 2	174	137		37
Level 1 (Mezzanine)	169			169
Ground Level (Floor)	162		174	162
Basement 1	174			
Basement 2	179	179		
	1410	352	180	308
Street	42			42
Surface lots	319	50		269
Loft Basement 1	123			123
Loft Basement 2	103			103
Total	1997	912	180	679
Available/Min/Max				
City Unshared		910	180	679
Resolution Parking	1985			
Suppld	12			

**BIKE PARKING**

RETAIL (CLASS II)	879 CARS @ 5%	34 STALLS
OFFICE (CLASS I)	910 CARS @ 5%	46 STALLS
LOFTS (CLASS II)	PROVIDED	82 STALLS
HOTEL (CLASS II)	180 CARS @ 4%	7 STALLS
	120 UNITS @ 4%	(48 STALLS REQUIRED)
TOTAL BIKE PARKING		157 STALLS



**MAIN STREET CUPERTINO**  
 STEVENS CREEK @ FINCH  
 CUPERTINO, CA

**ASA SUBMITTAL**

MAIN STREET CUPERTINO  
 AGGREGATOR, LLC  
 203 REDWOOD SHORES PKWY, STE 200  
 REDWOOD CITY, CA 94065

CONTRACT NO. \_\_\_\_\_  
 DATE: 03/15/14  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_

**OVERALL SITE PLAN**

**A0.1S**

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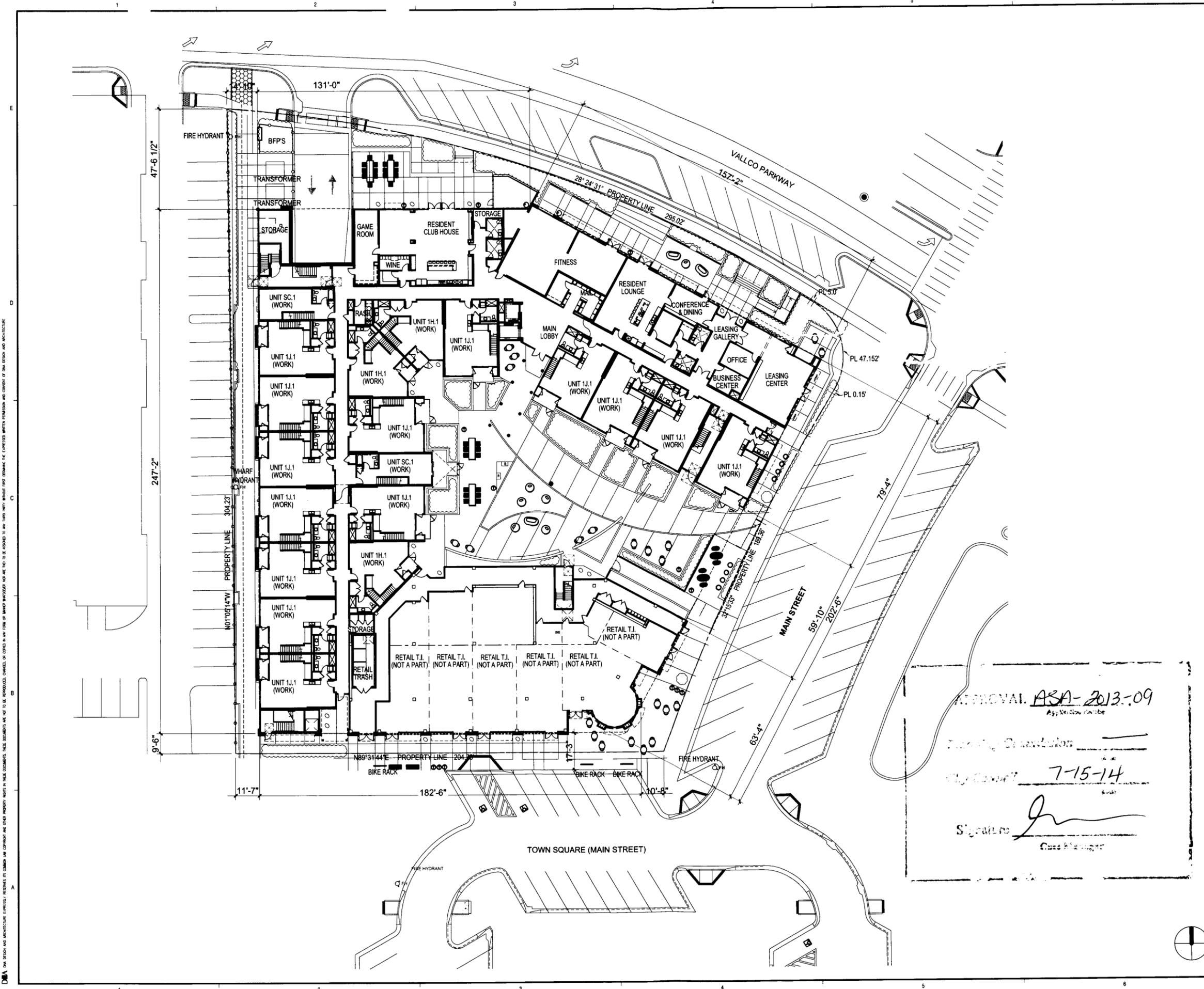


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Issues & Revisions

No.	Date	Description
12-11-2013	ASA 1st PLAN REVIEW	
12-18-2013	TYPE-ONLY 1st PLAN RE	
02-20-2014	CD PROGRESS SET	
03-26-2014	ASA 2nd PLAN REVIEW	
04-02-2014	TYPE-ONLY 2nd PLAN RE	
06-13-2014	TYPE-ONLY PERMIT S	
06-20-2014	ASA 3rd PLAN REVIEW	

APPROVAL: ASA-2013-09  
 Approved by: \_\_\_\_\_  
 Date: 7-15-14  
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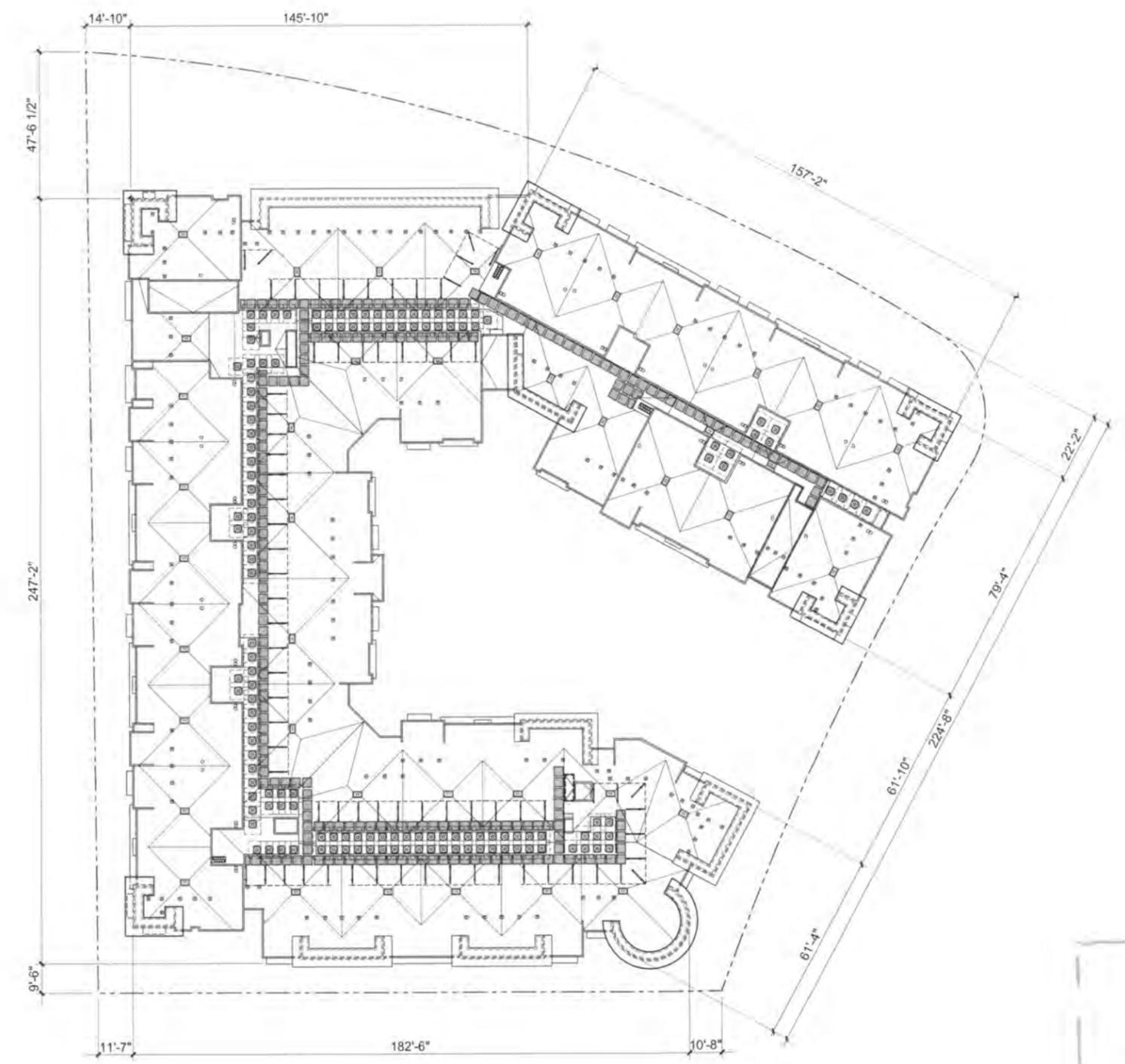




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No.	Date	Description
12-11-2013	12-11-2013	ASA 1st PLAN REVIEW
12-18-2013	12-18-2013	TYPE-J ONLY 1st PLAN RE
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03-26-2014	03-26-2014	ASA 2nd PLAN REVIEW
04-02-2014	04-02-2014	TYPE-J ONLY 2nd PLAN RI
05-13-2014	05-13-2014	TYPE-J ONLY PERMIT S
06-20-2014	06-20-2014	ASA 3rd PLAN REVIEW



APPROVAL ASA-2013-09  
 Application Number  
 Planning Commission \_\_\_\_\_  
 City Council 7-15-14  
 Signature [Signature]  
 Case Manager



DNA design and architecture 14511 franklin ave. suite 145 tustin, ca 92711 714 389 1890  
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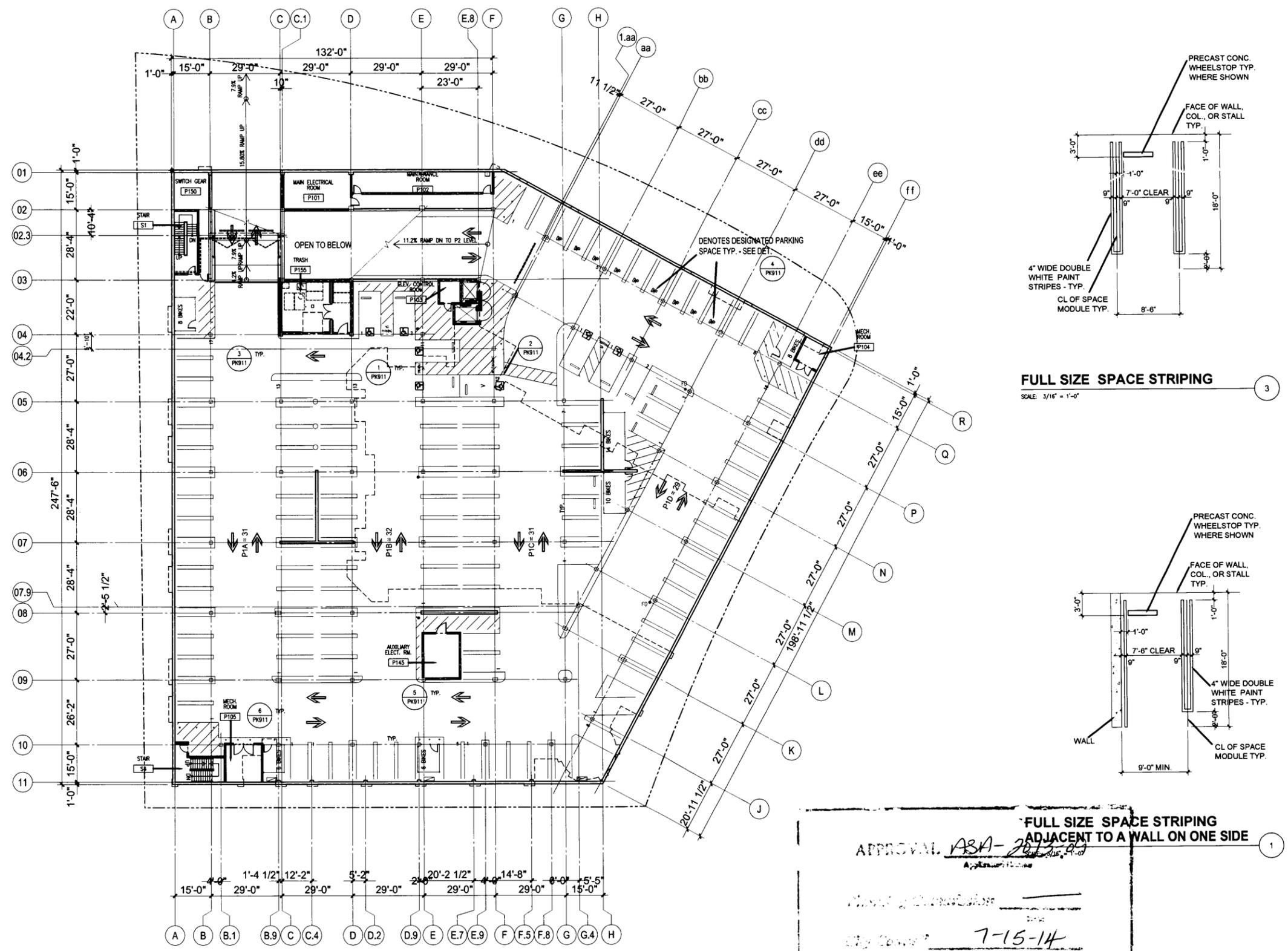
Issues & Revisions

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12.11.2013	ASA 1st PLAN REVIEW	
12.18.2013	TYPE4 ONLY 1st PLAN RE	
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04.02.2014	TYPE4 ONLY 2nd PLAN REVIEW	
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06.20.2014	ASA 3rd PLAN REVIEW	

Project Number: 12-121  
 Scale: 1/16" = 1'-0"  
 Sheet Title  
 LEVEL P1  
 COMPOSITE BUILDING PLAN  
 Sheet Number

## A-1.6

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**FULL SIZE SPACE STRIPING  
ADJACENT TO A WALL ON ONE SIDE**

APPROVAL: ASA-2014-01

City Council: 7-15-14

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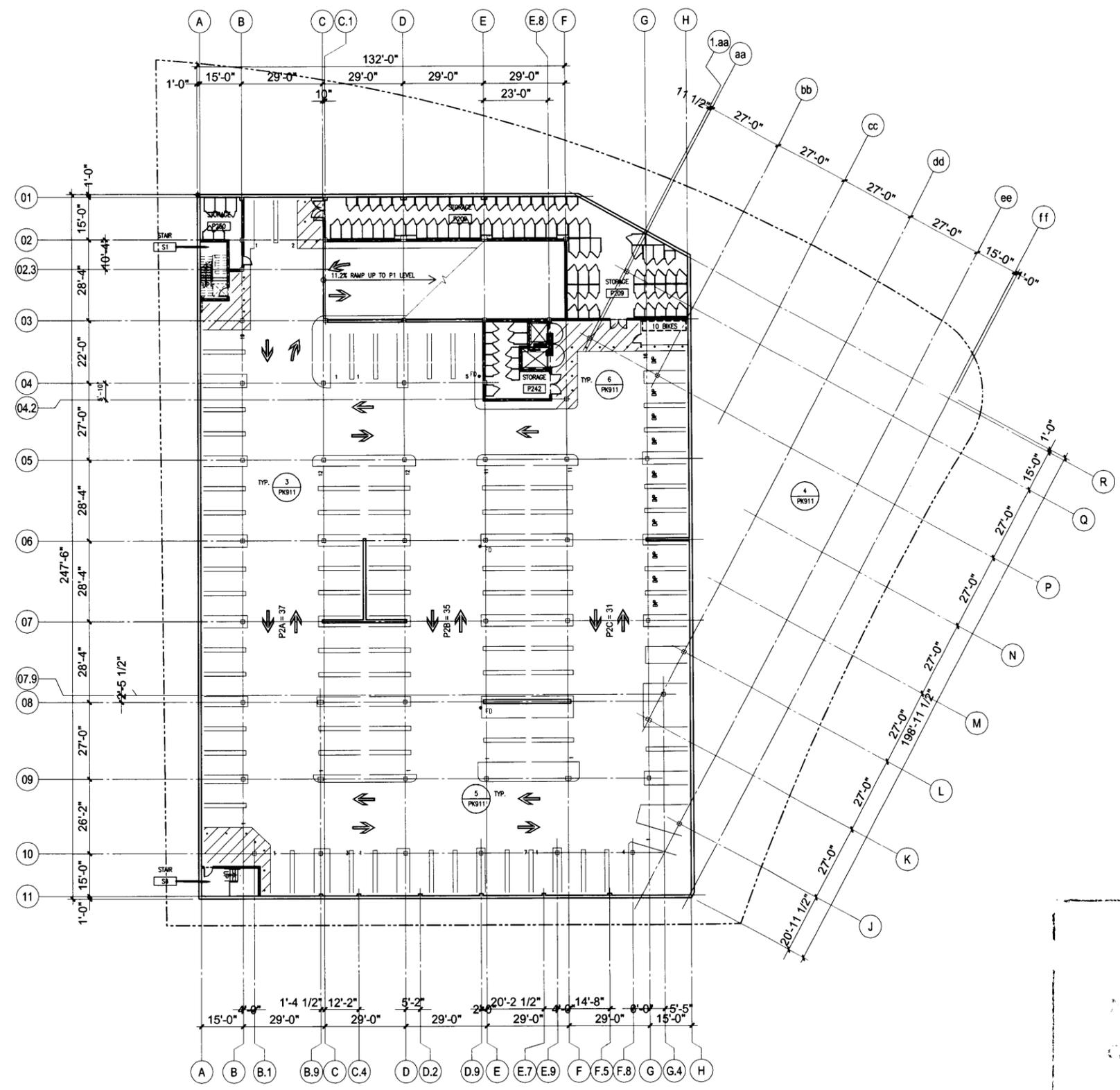
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12.11.2013	ASA 1st PLAN REVIEW	
12.18.2013	TYPE-4 ONLY 1st PLAN RE	
02.20.2014	CD PROGRESS SET	
03.26.2014	ASA 2nd PLAN REVIEW	
04.02.2014	TYPE-4 ONLY 2nd PLAN R	
06.13.2014	TYPE-4 ONLY PERMIT S	
06.20.2014	ASA 3rd PLAN REVIEW	

Project Number: 12-121  
 Scale: 1/16" = 1'-0"  
 Sheet Title  
**LEVEL P2**  
**COMPOSITE BUILDING PLAN**

Sheet Number  
**A1.7**  
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APPROVAL ASA-2013-09  
 City Council 7-15-14  
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Consultant

Client/Owner

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Project Number: 12-121

Scale: 3/32" = 1'-0"

Sheet Title  
BUILDING ELEVATIONS

Sheet Number

**A2.0**

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NORTH ELEVATION: VALLCO PARKWAY 1



SOUTH-EAST ELEVATION: MAIN STREET 2

**KEY NOTES**

- |  |   |  |   |
|--|---|--|---|
| 1. EXTERIOR SIDING BY RESYSTA, COLOR WALNUT          | 3a. EXTERIOR PLASTER, COLOR 7836N "COPPER CANYON" | 8. CONTROL JOINTS  | 14. METAL LOUVERS BY CENTRIA, COLOR 9918 DOVE GRAY  |
| 2. PAINTED METAL CANOPY                              | 4. EXTERIOR GRADE RESIN PANEL, 3FORM COLOR "REEF" | 9. PAINTED METAL GRILL                                   | 15. VINYL WINDOWS (COLOR TAUPE), 3" RECESS          |
| 3a. EXTERIOR PLASTER, COLOR D6183 "HOME PLATE"       | 5a. PORCELAIN TILE BY EVERSTONE, COLOR EVER-BEIGE | 10. VENT TERMINATION LOUVERS                             | 16. PAINTED METAL ENTRY GATEWAY WITH TRELLIS BEYOND |
| 3b. EXTERIOR PLASTER, COLOR D6191 "EXCLUSIVE IVORY"  | 5b. PORCELAIN TILE BY EVERSTONE, COLOR EVER-GRAU  | 11. VINYL WINDOWS (COLOR TAUPE), TYP                     | 17. PAINTED METAL DOOR                              |
| 3c. EXTERIOR PLASTER, COLOR D6584 "MISTED EYE"       | 6. ALUMINUM STOREFRONT                            | 12. WALL SCOSCE  | 18. PAINTED METAL TO MATCH CANOPY (2)               |
| 3d. PAINTED METAL PANEL, COLOR 7836N "COPPER CANYON" | 7. PAINTED METAL FASCIA                           | 13. PAINTED METAL PANEL BY CENTRIA, COLOR 9918 DOVE GRAY | 19. FENCE AND GATE PER LANDSCAPE DRAWINGS           |
|  |   |  | 20. GREEN SCREEN                                    |

**KEY PLAN**



APPROVAL: ASA-2013-09  
Application Number

Planning Commission \_\_\_\_\_  
Date

City Council: 7-15-2014  
Date

Signature: \_\_\_\_\_  
Case Manager

revised plans to address condition #7

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06.20.2014	ASA 3rd PLAN REVIEW	

**Project Number:** 12-121  
**Scale:** 3/32 = 1'-0"  
**Sheet Title:** BUILDING ELEVATIONS  
**Sheet Number:** **A2.1**  
 NOT FOR CONSTRUCTION



**SOUTH ELEVATION: TOWN SQUARE 1**



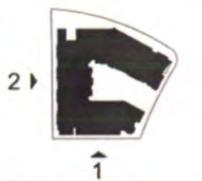
**WEST ELEVATION: SIDE YARD 2**

**APPROVAL:** ASA-2013-09  
 Planning Commission  
 City Council  
 Signature: [Signature]  
 Date: 7-15-2014  
 (revised plans) to address condition #7  
 Case Manager

**KEY NOTES**

- |  |   |  |  |
|--|---|--|--|
| 1. EXTERIOR SIDING BY RESYSTA, COLOR WALNUT          | 3e. EXTERIOR PLASTER, COLOR 7836N "COPPER CANYON" | 8. CONTROL JOINTS  | 14. METAL LOUVERS BY CENTRIA, COLOR 9918 DOVE GRAY   |
| 2. PAINTED METAL CANOPY                              | 4. EXTERIOR GRADE RESIN PANEL, 3FORM COLOR "REEF" | 9. PAINTED METAL GRILL                                   | 15. VINYL WINDOWS (COLOR TAUPE), 3" RECESS           |
| 3a. EXTERIOR PLASTER, COLOR DE6183 "HOME PLATE"      | 5a. PORCELAIN TILE BY EVERSTONE, COLOR EVER-BEIGE | 10. VENT TERMINATION LOUVERS                             | 16. PAINTED METAL ENTRY GATEWAY WITH TRELLIS BEYOND. |
| 3b. EXTERIOR PLASTER, COLOR DE6191 "EXCLUSIVE IVORY" | 5b. PORCELAIN TILE BY EVERSTONE, COLOR EVER-GRAU  | 11. VINYL WINDOWS (COLOR TAUPE), TYP.                    | 17. PAINTED METAL DOOR                               |
| 3c. EXTERIOR PLASTER, COLOR DE5884 "MISTED EVE"      | 6. ALUMINUM STOREFRONT                            | 12. WALL SCONCE  | 18. PAINTED METAL TO MATCH CANOPY (2)                |
| 3d. PAINTED METAL PANEL, COLOR 7836N "COPPER CANYON" | 7. PAINTED METAL FASCIA                           | 13. PAINTED METAL PANEL BY CENTRIA, COLOR 9918 DOVE GRAY | 19. FENCE AND GATE PER LANDSCAPE DRAWINGS            |
|  |   |  | 20. GREEN SCREEN                                     |

**KEY PLAN**



PLT DATE: 10.2014

**ASA SUBMITTAL**

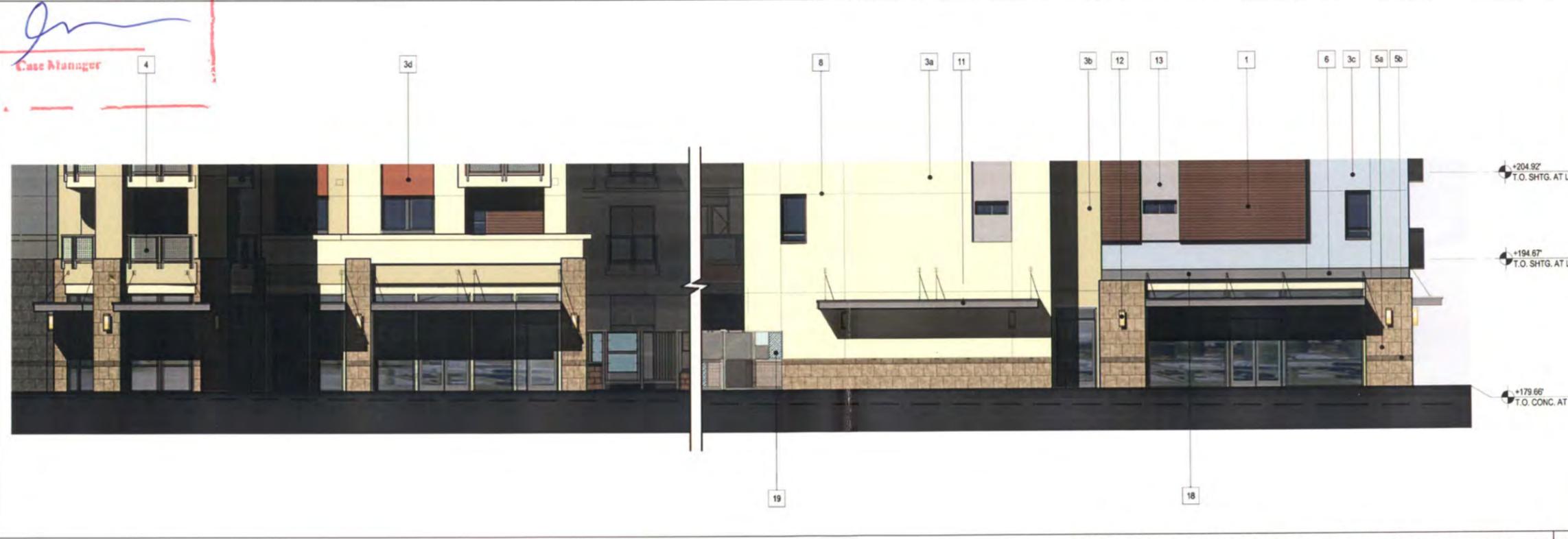
Issues & Revisions

No.	Date	Description
12.11.2013	ASA 1st PLAN REVIEW	
12.18.2013	TYPE-I ONLY 1st PLAN REV.	
02.20.2014	CD PROGRESS SET	
03.26.2014	ASA 2nd PLAN REVIEW	
04.02.2014	TYPE-I ONLY 2nd PLAN REV.	
06.13.2014	TYPE-I ONLY PERMIT SET	
09.20.2014	ASA 3rd PLAN REVIEW	



SEE CONDITION No.7 OF RESO 14182 REGARDING ADD'L ENHANCEMENTS TO BE MADE

ENLARGED PARTIAL NORTH ELEVATION: VALLCO PARKWAY 1



ENLARGED PARTIAL SOUTH-EAST ELEVATION: MAIN STREET 2

THIS DRAWING AND ARCHITECTURAL CONCEPTS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DNA DESIGN AND ARCHITECTURE. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DNA DESIGN AND ARCHITECTURE. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DNA DESIGN AND ARCHITECTURE.

APPROVAL: ASA-2013-09  
 Applied for Permit  
 Planning Commission 18  
 Date 7-15-14  
 City Council 18  
 Date  
 Signature [Signature]  
 Case Manager 4

- KEY NOTES**
- |  |   |  |   |
|--|---|--|---|
| 1. EXTERIOR SIDING BY RESYSTA, COLOR WALNUT          | 4. EXTERIOR GRADE RESIN PANEL, 3FORM COLOR "REEF" | 9. PAINTED METAL GRILL                                   | 14. METAL LOUVERS BY CENTRIA, COLOR 9918 DOVE GRAY  |
| 2. PAINTED METAL CANOPY                              | 5a. PORCELAIN TILE BY EVERSTONE, COLOR EVER-BEIGE | 10. VENT TERMINATION LOUVERS                             | 15. VINYL WINDOWS (COLOR TAUPE), 3" RECESS          |
| 3a. EXTERIOR PLASTER, COLOR DE6183 "HOME PLATE"      | 5b. PORCELAIN TILE BY EVERSTONE, COLOR EVER-GRAU  | 11. VINYL WINDOWS (COLOR TAUPE), TYP.                    | 16. PAINTED METAL ENTRY GATEWAY WITH TRELIS BEYOND. |
| 3b. EXTERIOR PLASTER, COLOR DE6191 "EXCLUSIVE IVORY" | 6. ALUMINUM STOREFRONT                            | 12. WALL SCIENCE   | 17. PAINTED METAL DOOR                              |
| 3c. EXTERIOR PLASTER, COLOR DE5884 "MISTED EVE"      | 7. PAINTED METAL FASCIA                           | 13. PAINTED METAL PANEL BY CENTRIA, COLOR 9918 DOVE GRAY | 18. PAINTED METAL TO MATCH CANOPY (2)               |
| 3d. EXTERIOR PLASTER, COLOR 7836N "COPPER CANYON"    | 8. CONTROL JOINTS                                 |  | 19. FENCE AND GATE PER LANDSCAPE DRAWINGS           |



**ASA SUBMITTAL**

**Issues & Revisions**

No.	Date	Description
12.11.2013	ASA 1st PLAN REVIEW	
12.18.2013	TYPE-I ONLY 1st PLAN REV.	
02.20.2014	CD PROGRESS SET	
03.26.2014	ASA 2nd PLAN REVIEW	
04.02.2014	TYPE-I ONLY 2nd PLAN REV.	
06.13.2014	TYPE-I ONLY PERMIT SET	
06.20.2014	ASA 3rd PLAN REVIEW	



SEE CONDITION NO. 7 OF RESO 14-182 REGARDING ADD'L ENHANCEMENTS TO BE MADE

ENLARGED PARTIAL SOUTH ELEVATION: TOWN SQUARE 1



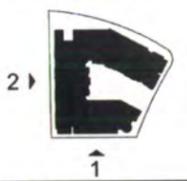
ENLARGED PARTIAL WEST ELEVATION: SIDE YARD 2

APPROVAL: ASA-2013-09  
 Applied Number  
 Planning Commission \_\_\_\_\_  
 City Council \_\_\_\_\_  
 Date: 7-15-14  
 Signature: \_\_\_\_\_  
 Case Manager

**KEY NOTES**

- |  |   |  |  |
|--|---|--|--|
| 1. EXTERIOR SIDING BY RESYSTA, COLOR WALNUT          | 4. EXTERIOR GRADE RESIN PANEL, 3FORM COLOR "REEF" | 9. PAINTED METAL GRILL                                   | 14. METAL LOUVERS BY CENTRIA, COLOR 9918 DOVE GRAY   |
| 2. PAINTED METAL CANOPY                              | 5a. PORCELAIN TILE BY EVERSTONE, COLOR EVER-BEIGE | 10. VENT TERMINATION LOUVERS                             | 15. VINYL WINDOWS (COLOR TAUPE), 3" RECESS           |
| 3a. EXTERIOR PLASTER, COLOR DE6183 "HOME PLATE"      | 5b. PORCELAIN TILE BY EVERSTONE, COLOR EVER-GRAU  | 11. VINYL WINDOWS (COLOR TAUPE), TYP.                    | 16. PAINTED METAL ENTRY GATEWAY WITH TRELLIS BEYOND. |
| 3b. EXTERIOR PLASTER, COLOR DE6191 "EXCLUSIVE IVORY" | 6. ALUMINUM STOREFRONT                            | 12. WALL SCIENCE   | 17. PAINTED METAL DOOR                               |
| 3c. EXTERIOR PLASTER, COLOR DE5884 "MISTED EVE"      | 7. PAINTED METAL FASCIA                           | 13. PAINTED METAL PANEL BY CENTRIA, COLOR 9918 DOVE GRAY | 18. PAINTED METAL TO MATCH CANOPY (2)                |
| 3d. EXTERIOR PLASTER, COLOR 7836N "COPPER CANYON"    | 8. CONTROL JOINTS                                 |  | 19. FENCE AND GATE PER LANDSCAPE DRAWINGS            |

**KEY PLAN**



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Consultant

Client/Owner

**MAIN STREET CUPERTINO  
AGGREGATOR, LLC**  
203 REDWOOD SHORES PKWY  
SUITE 200  
REDWOOD CITY, CA 94065

Project

**MAIN STREET CUPERTINO  
LOFT RESIDENCES**  
19640 VALLCO PKWY.  
CUPERTINO, CA 95014

**ASA  
SUBMITTAL**

Issues & Revisions

No.	Date	Description
12.11.2013	12.11.2013	ASA 1st PLAN REVIEW
12.18.2013	12.18.2013	TYPE-I ONLY 1st PLAN REV.
02.20.2014	02.20.2014	CD PROGRESS SET
03.28.2014	03.28.2014	ASA 2nd PLAN REVIEW
04.02.2014	04.02.2014	TYPE-I ONLY 2nd PLAN REV.
06.13.2014	06.13.2014	TYPE-I ONLY PERMIT SET
06.20.2014	06.20.2014	ASA 3rd PLAN REVIEW

As the Architect, you shall be responsible for the design and construction of the project. You shall be responsible for the design and construction of the project. You shall be responsible for the design and construction of the project.

Project Number: 12-121

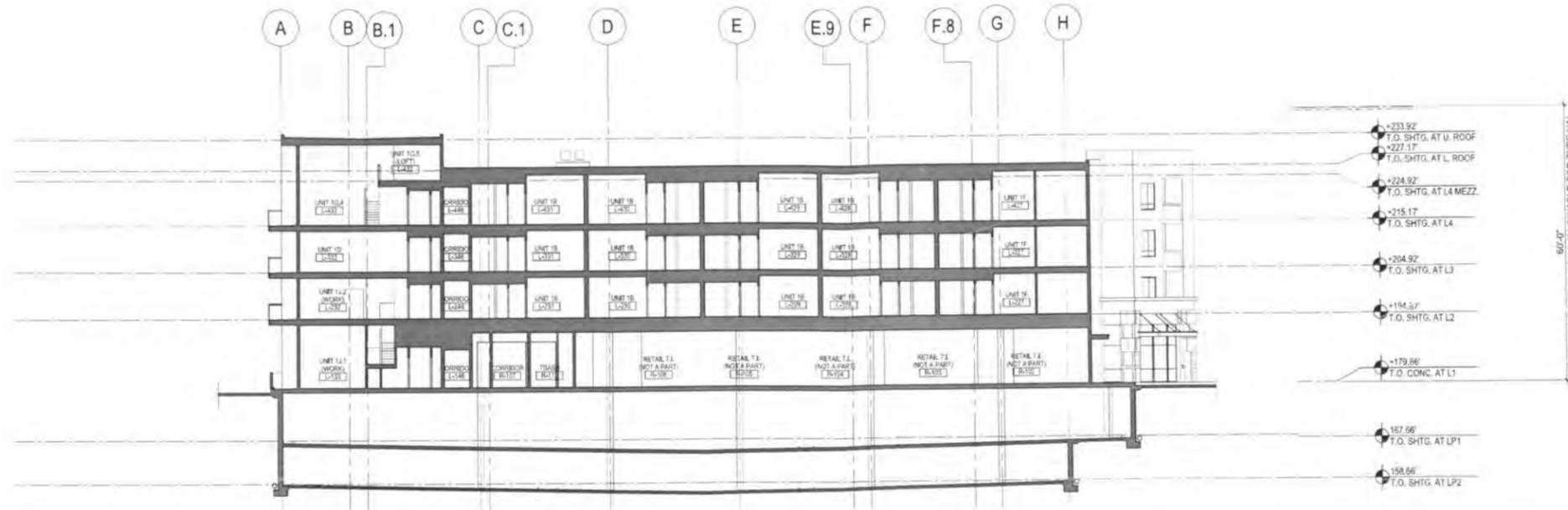
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Sheet Title  
**BUILDING SECTIONS**

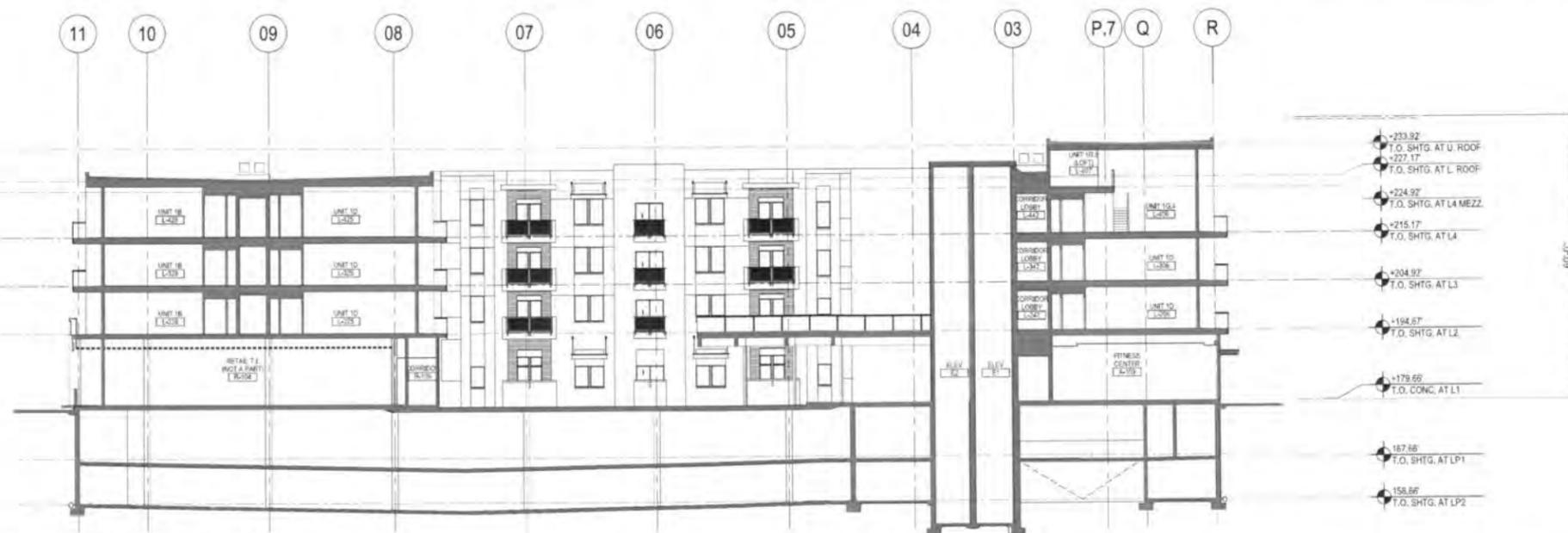
Sheet Number

**A3.0**

NOT FOR CONSTRUCTION



**BUILDING SECTION BB [L.2]: RETAIL** SCALE: 3/32"=1'-0" 2



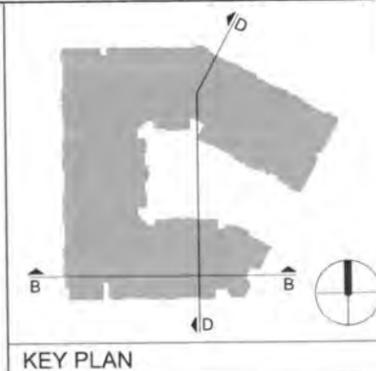
**BUILDING SECTION DD [L.1 & L.2]: PLAZA** SCALE: 3/32"=1'-0" 1

APPROVAL ASA-2013-09

Planning Commission \_\_\_\_\_

City Comm'r 7-15-14

Signature [Signature]  
Case Manager



KEY PLAN

# ASA SUBMITTAL

Issues & Revisions

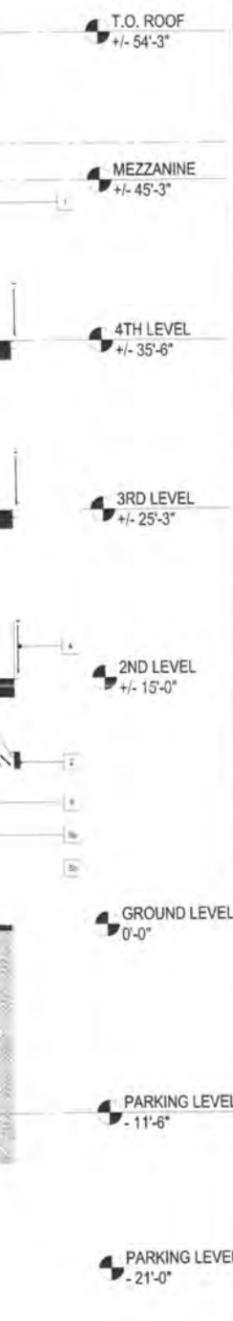
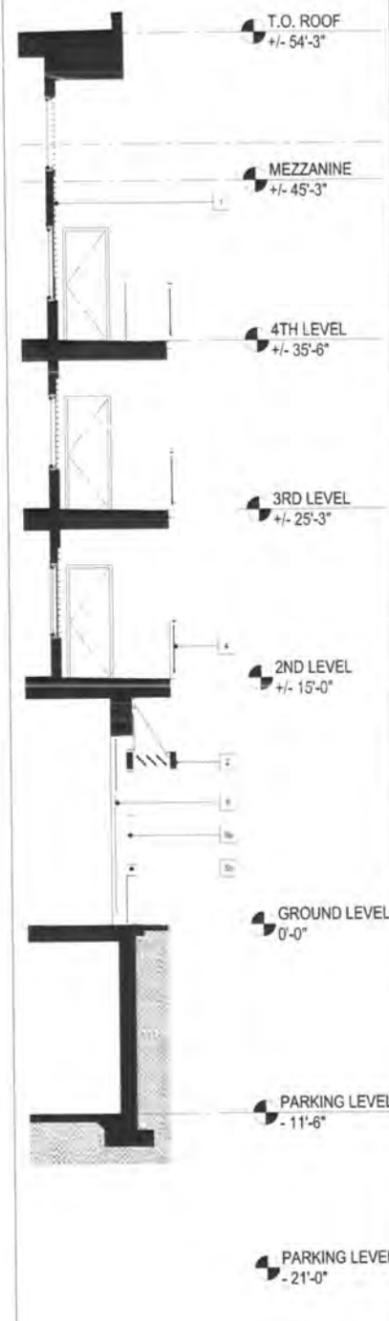
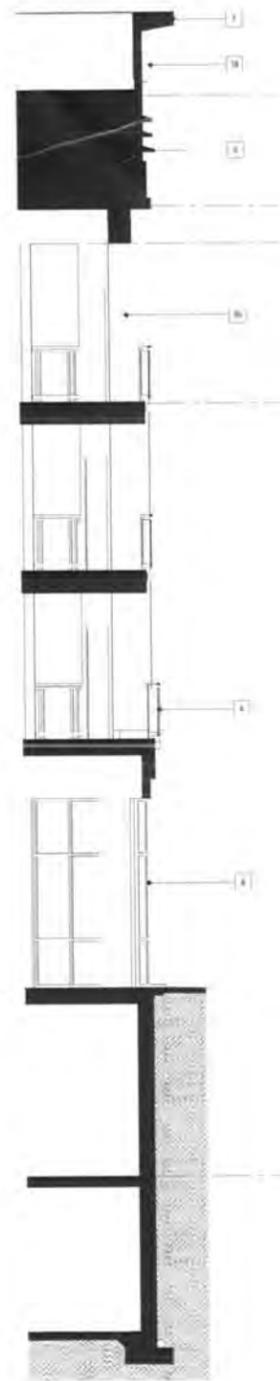
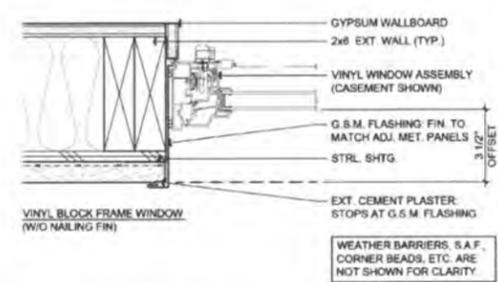
No.	Date	Description
12.11.2013	12.11.2013	ASA 1st PLAN REVIEW
12.18.2013	12.18.2013	TYPE-4 ONLY 1st PLAN REV.
02.20.2014	02.20.2014	CD PROGRESS SET
03.26.2014	03.26.2014	ASA 2nd PLAN REVIEW
04.02.2014	04.02.2014	TYPE-4 ONLY 2nd PLAN REV.
06.13.2014	06.13.2014	TYPE-4 ONLY PERMIT SET
06.20.2014	06.20.2014	ASA 3rd PLAN REVIEW

Project Number: 12-121  
 Scale: 1/4" = 1'-0"  
 Sheet Title: WALL SECTIONS  
 Sheet Number: **A3.1**

NOT FOR CONSTRUCTION

APPROVAL ASA-2013-09  
 Approval Number

Planning Commission \_\_\_\_\_  
 City Council 7-15-14  
 Signature \_\_\_\_\_  
 Case Manager



WINDOW DETAIL 5

WALL SECTION 4

WALL SECTION 3

WALL SECTION 2

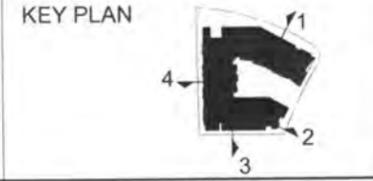
WALL SECTION 1

- KEY NOTES**
- EXTERIOR SIDING BY RESYSTA, COLOR WALNUT
  - PAINTED METAL CANOPY
  - EXTERIOR PLASTER, COLOR DE6183 "HOME PLATE"
  - EXTERIOR PLASTER, COLOR DE6191 "EXCLUSIVE IVORY"
  - EXTERIOR PLASTER, COLOR DE5884 "MISTED EVE"
  - EXTERIOR PLASTER, COLOR 7836N "COPPER CANYON"

- EXTERIOR GRADE RESIN PANEL, 3FORM COLOR "REEF"
- PORCELAIN TILE BY EVERSTONE, COLOR EVER-BEIGE
- PORCELAIN TILE BY EVERSTONE, COLOR EVER-GRAU
- PORCELAIN TILE BY EVERSTONE, COLOR EVER-CLAIRE
- ALUMINUM STOREFRONT
- PAINTED METAL FASCIA

- CONTROL JOINTS
- PAINTED METAL GRILL
- VENT TERMINATION LOUVERS
- VINYL WINDOWS (COLOR TAUPE) TYP.
- WALL SCONCE
- PAINTED METAL PANEL BY CENTRIA, COLOR 9918 DOVE GRAY

- METAL LOUVERS BY CENTRIA, COLOR 9915 DOVE GRAY
- VINYL WINDOWS (COLOR TAUPE), SET IN RECESSED PAN
- PAINTED METAL ENTRY GATEWAY WITH TRELUS BEYOND
- PAINTED METAL DOOR
- PAINTED METAL TO MATCH CANOPY (2)
- FENCE AND GATE PER LANDSCAPE DRAWINGS







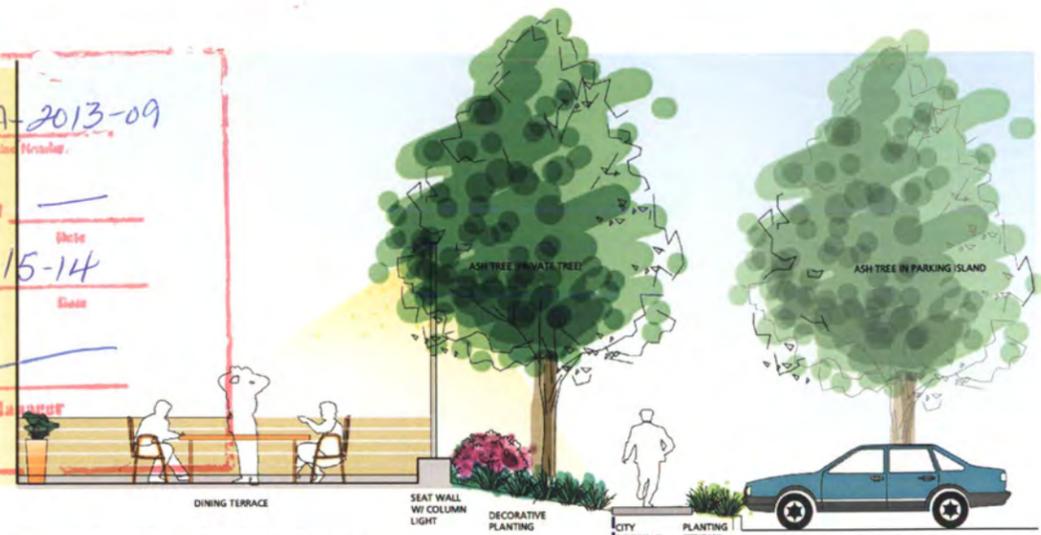




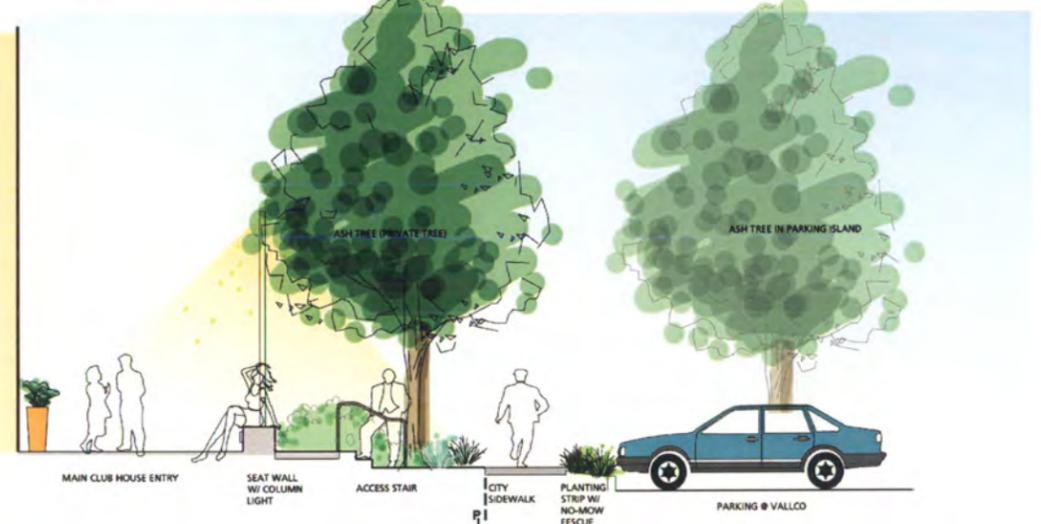




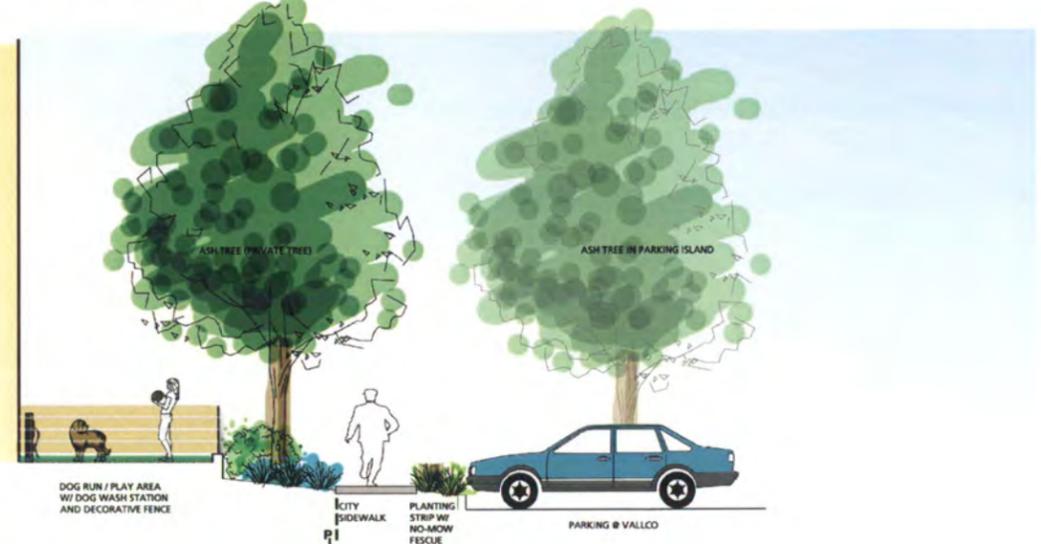
APPROVAL. ASA-2013-09  
 Application Number  
 Planning Commission \_\_\_\_\_  
 Date  
 City Comm? 7-15-14  
 Date  
 Signature \_\_\_\_\_  
 Case Manager



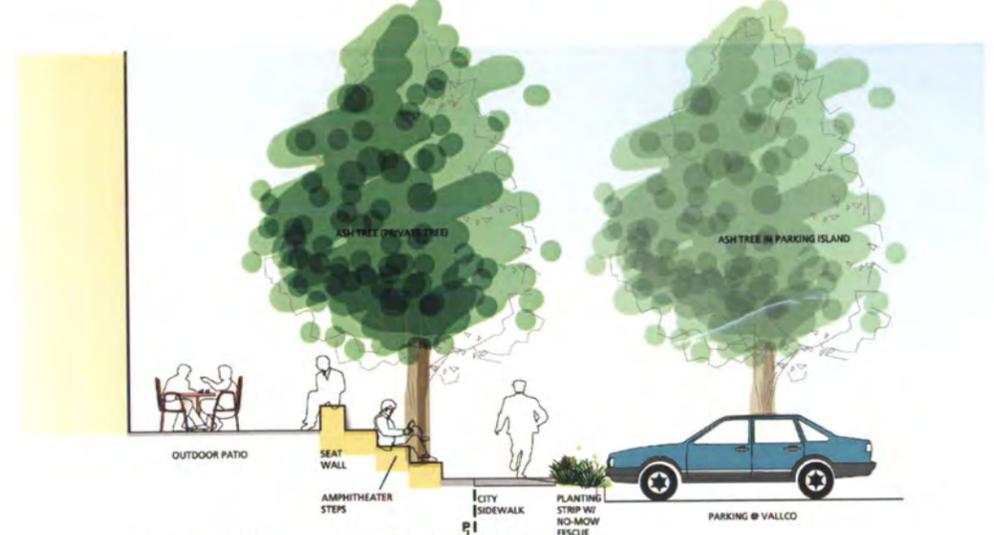
**A Dining Plaza Section @ Vallco**  
 scale: 1/4" = 1'-0"  
 SEE CONDITION NO. 8 OF RESO 14-182



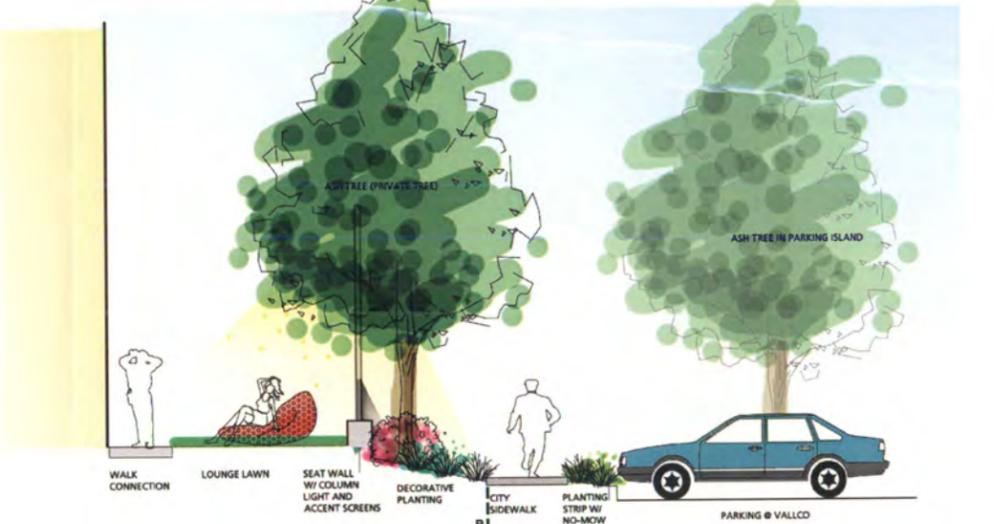
**B Entry Plaza Section @ Vallco**  
 scale: 1/4" = 1'-0"



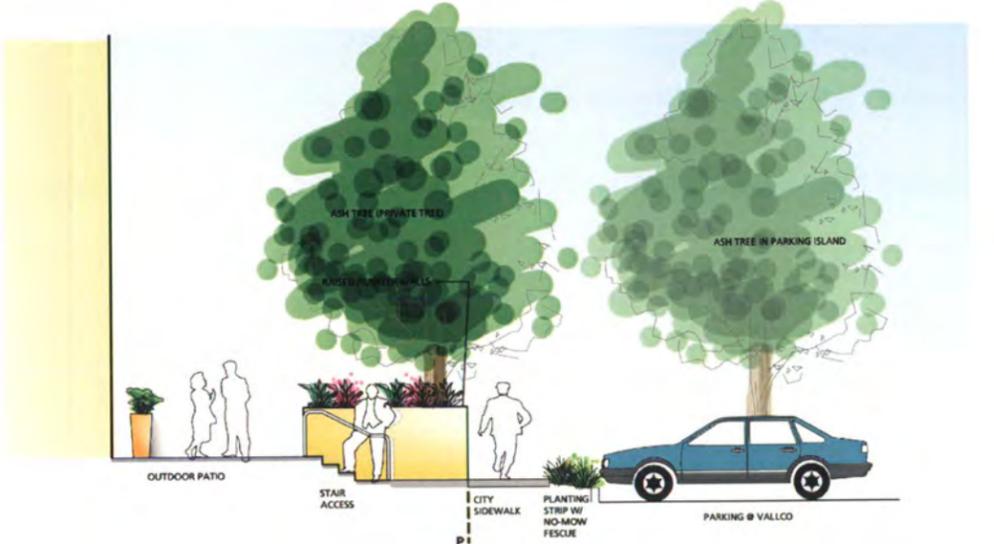
**C Dog Run Section @ Vallco**  
 scale: 1/4" = 1'-0"



**E Amphitheater Steps Section @ Vallco**  
 scale: 1/4" = 1'-0"



**F Lawn Terrace Section @ Vallco**  
 scale: 1/4" = 1'-0"



**G Leasing Office Terrace Section @ Vallco**  
 scale: 1/4" = 1'-0"

Architect  
**DNA**  
 design and architecture  
 14511 franklin ave. suite 145 tustin ca 92780  
 714 389 1850

Consultant  
**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects - Land Planners  
 181 Greenwich Street  
 San Francisco, CA 94111  
 T 415 423 4872  
 F 415 423 5081

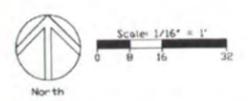


Client/Owner  
**Main Street Cupertino Aggregator, LLC**  
 203 Redwood Shores Pkwy  
 Suite 200  
 Redwood City, CA 94065

Project  
**MAIN STREET CUPERTINO LOFT RESIDENCES**  
 CUPERTINO, CA  
 STEVENS CREEK & FINCH  
 CUPERTINO, CA

Issues & Revisions

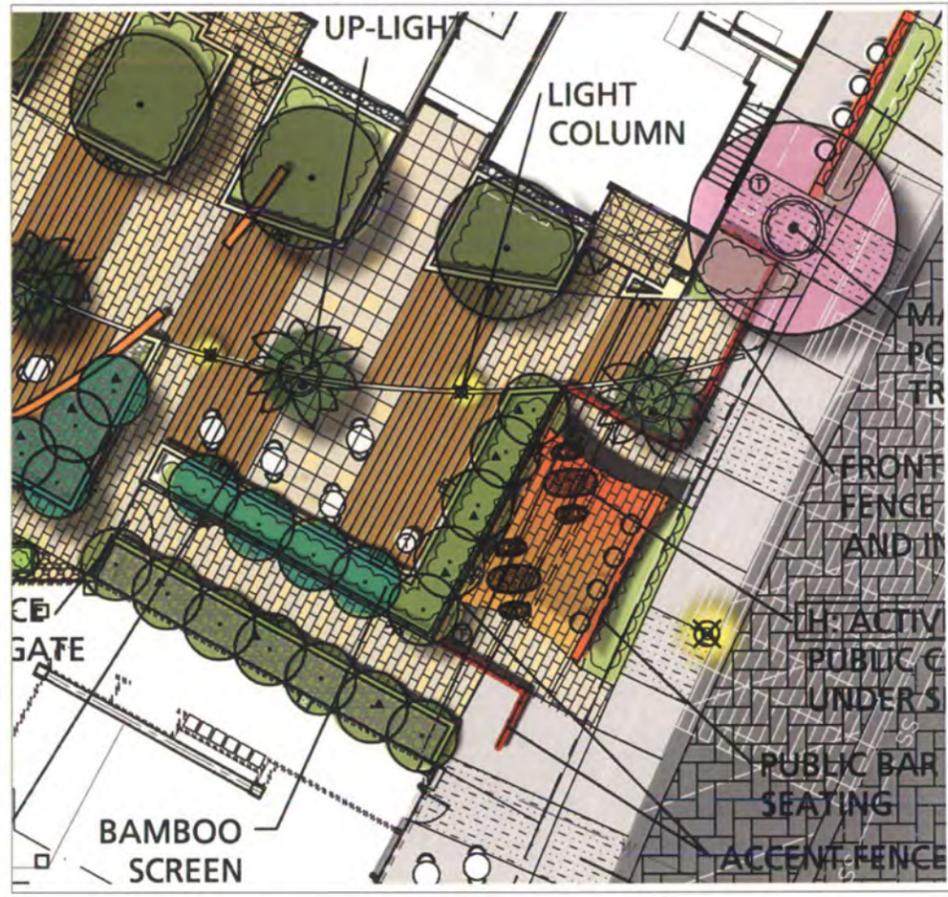
No.	Date	Description
12-11-2013	ASA 1st PLAN REVIEW	
12-18-2013	TYPE-I ONLY 1st PLAN REV	
02-20-2014	CD PROGRESS SET	
03-26-2014	ASA 2nd PLAN REVIEW	
04-02-2014	TYPE-I ONLY 2nd PLAN REV	
06-13-2014	TYPE-I ONLY PERMIT SET	
06-20-2014	ASA 3rd PLAN REVIEW	



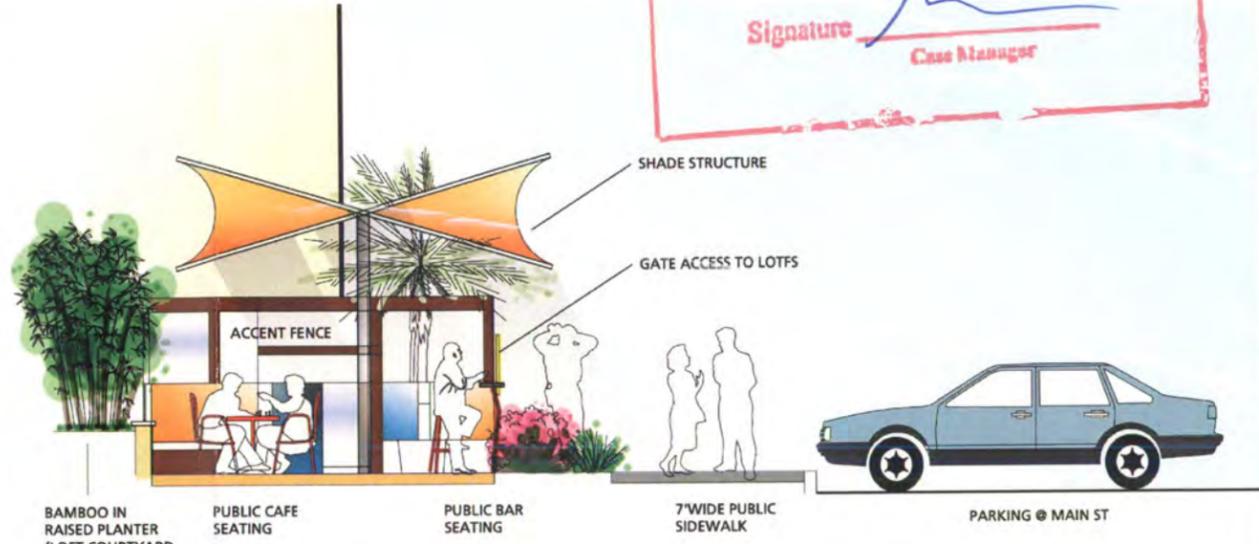
Project Number: 12-121  
 Scale: 1/16" = 1'-0"  
 Sheet Title  
 Landscape Sections

Sheet Number  
**L-1.0b**

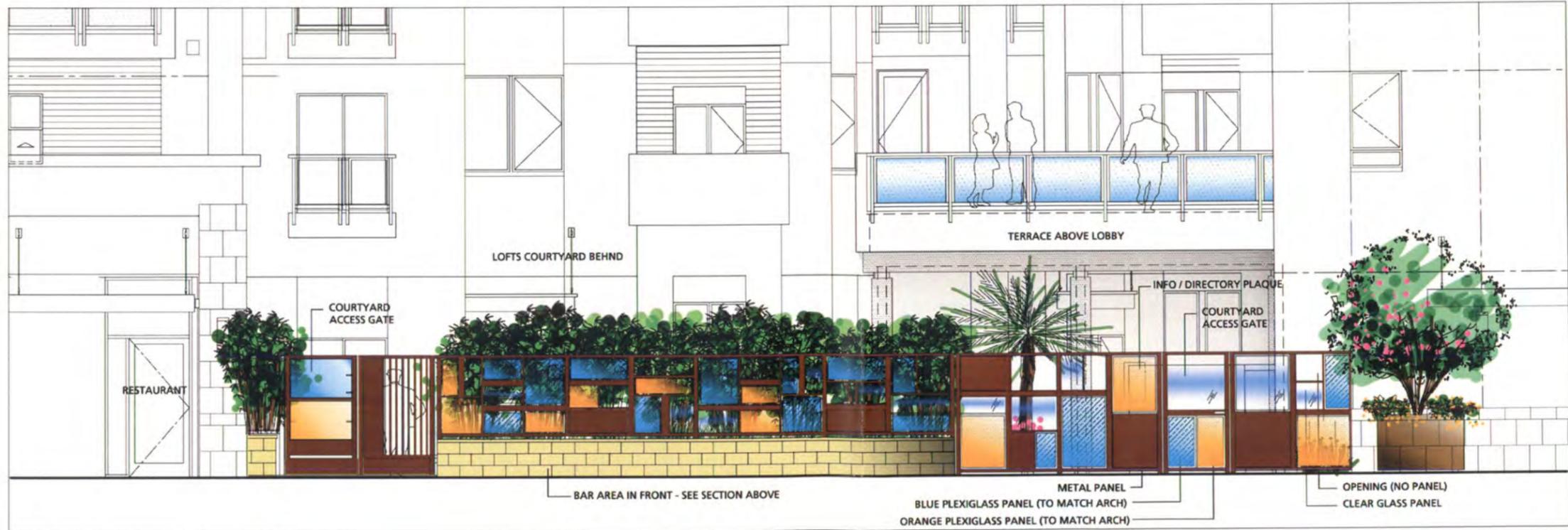
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○ Active Terrace @ Main St  
scale: 1/8" = 1'-0"



Ⓜ Active Terrace Section @ Main St  
scale: 3/8" = 1'-0"



○ Active Terrace @ Main St - Fence Elevation  
scale: 3/8" = 1'-0"

APPROVAL. ASA-2013-09  
Applied Number

Planning Commission \_\_\_\_\_  
Date

City Council 7-15-14  
Date

Signature \_\_\_\_\_  
Case Manager

Architect  
**DNA**  
design and architecture  
14511 franklin ave. suite 145 burlingame ca 94780  
714 389 1890

Consultant  
**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 423 4872  
F 415 423 5025

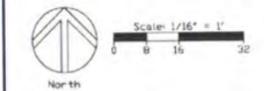


Client/Owner  
**Main Street Cupertino  
Aggregator, LLC**  
203 Redwood Shores Pkwy  
Suite 200  
Redwood City, CA 94065

Project  
**MAIN STREET CUPERTINO  
LOFT RESIDENCES**  
CUPERTINO, CA  
STEVENS CREEK & FINCH  
CUPERTINO, CA

Issues & Revisions

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06.13.2014	TYPE-I ONLY PERMIT SET	
06.20.2014	ASA 3rd PLAN REVIEW	



Project Number: 12-121  
Scale: 1/16" = 1'-0"  
Sheet Title: Landscape Sections

Sheet Number: **L-1.0c**

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ASAP ASA-2013-09  
 7-15-14  
 Signature: [Handwritten Signature]  
 Cost: [Handwritten]

**LAYOUT LEGEND**

	Ground Cover		Detail Number
	Pedestrian / Vehicular Concrete Paving Type 1		Sheet Number
	Pedestrian Concrete Paving Type 2		Property Line
	Vehicular Grass Cell Paving		Center Line
	Pedestrian Accent Paving Type 1 (site)		Phase Line
	Pedestrian Accent Paving Type 2 (courtyard)		Match Line
	Pedestrian Accent Paving Type 3		Align
	Pedestrian Accent Paving Type 4		E.J. Expansion Joint
	Pedestrian Gravel Paving	S.A.D.	See Architect's Drawings
	Street Light S.E.D. and S.C.D.	S.C.D.	See Civil Engineer's Drawings
	Fire Hydrant S.C.D.	S.E.D.	See Electrical Engineer's Drawings
	Utility Boxes S.C.D.	S.M.D.	See Mechanical Engineer's Drawings
	Below grade utilities as noted. S.C.D.	S.P.D.	See Plumbing Engineer's Drawings
		S.C.F.S.	See Color and Finish Schedule

**LAYOUT NOTES**

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All building information is based on drawings prepared by:  
 Rocky Shen  
 DNA Design and Architecture  
 14511 Franklin Ave, Ste 145  
 Tustin, CA 92780  
 tel. 805-439-2600
- All site civil information is based on drawings prepared by:  
 Steve Yazalina  
 Sandis Engineers  
 938 E. Duane Ave  
 Sunnyvale, CA 94085  
 tel. 408-636-0900
- For Structural information see drawings prepared by:  
 Jeff Brink  
 DCI Engineers  
 100 Montgomery Street, Suite 1150  
 San Francisco, CA 94104  
 tel. 415-781-1505
- All garage information is based on drawings prepared by:  
 Raju Nandwana  
 IPD  
 1201 Marina Village Parkway, Suite 100  
 Alameda, CA 94501  
 tel. 510-473-0300 x 103
- For Site MEP information see drawings prepared by:  
 Adam French  
 Emerald City Engineers, Inc.  
 6505 216th Street SW, Suite 200  
 Mountlake Terrace, WA 98043  
 tel. 425-741-1200
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- All uplights are to be directed upward into the trees or objects they are intended to illuminate. Uplight positioning is subject to field modification by the Landscape Architect.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

**FINE GRADING AND DRAINAGE LEGEND**

+60.3	Spot Elevation
T.C. (60.6)	Top of Curb Elevation (from Civil Engineer's Drawings, verify)
T.C.I. (60.6)	Top of Curb Elevation Interpolated (from Civil Engineer's Drawings, verify)
+H.P. 61.2	Relative High Point
T.S. 61.25	Top of Step Elevation
B.S. 60.1	Bottom of Step Elevation
T.R. 61.25	Top of Ramp Elevation
B.R. 60.1	Bottom of Ramp Elevation
T.W. 63.4	Top of Wall Elevation
B.W. 60.4	Bottom of Wall Elevation. (Finish Grade of Soil or Paving)
T.F. 63.4	Top of Fence
T.P. 60.4	Top of Pilaster
AD 00.00	Area Drain w/Rim Elevation
	On-Grade Paving: NDS 4" 910B (Brushed)
	LawnNDS 10 Black Flat Top Drain Cover
	Ground Cover Areas: NDS Spee-D-Basin and Grate, NDS #90 6" Atrium Grate, Black.
	On-Structure Topping Slab: S.A.D., S.P.D. for cover information.
	On-Structure Planter Drain: S.A.D., S.P.D. for atrium cover information.
	Catch Basin See Civil Engineer's Drawings.
	Direction of Surface Water Flow
	Direction of Surface Water Flow in Swale (2% Minimum)
	Grade Break (Ridge Line)
	Subsurface Drainpipe: PVC SA34 by Acme Industries. (4" x 2.6" dia.)
	Perforated Drainpipe: PVC AS987 by Acme Industries 4"
	Diagrammatic 1' Contours

**FINE GRADING NOTES**

- The Landscape Contractor is responsible for fine grading and positive surface drainage in all landscape areas. The Contractor shall verify all rough grades in the field and bring any discrepancies to the attention of the Landscape Architect and Civil Engineer for a decision before proceeding with the work.
- See Civil Engineer's drawings for road surface elevations, roadway sections, catch basins, and top of curb elevations. Top of curb elevations shown on Landscape drawings are for reference and coordination purposes only.
- Earth mounds are shown diagrammatically for form and location. Shaping of mounds to be reviewed and approved in the field by the Landscape Architect.
- Contractors are to exercise extreme care in back filling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.
- The Landscape Contractor shall remove from the site all debris and unsuitable material generated by the Contractor's operations.
- Catch basins, area drains, planter drains, and perforated drain lines are to be connected to the storm drain system as specified in the Civil Engineer's plans. See Civil Engineer's drawings for all connections.
- All catch basins and other drains are to be free of obstructions and maintained open and free running during and upon completion of the Contractor's work.
- All on-grade areas to receive planting are to be received by the fine grading Contractor within a tenth of a foot of final grade. The Landscape Contractor shall rip compacted rough graded soil to a depth of 8 inches, then till in the soil amendment. Soil amendment shall be determined by an Agricultural Suitabilities Analysis conducted by a licensed soils laboratory upon sample(s) taken from the rough graded soil. This analysis shall be conducted and paid for by the General Contractor.
- See structural soils report for recommendations on soil type, grading procedures, soil compaction, maximum allowable slopes, flatwork base material, etc.
- Minimum paving slope to be 2% typically with a maximum cross slope of 2%. Minimum planting area slope to be 2% typically. Bring any discrepancies to the attention of the Landscape Architect for a decision prior to fine grading.
- All slopes 2-1/2:1 and greater shall have jute mesh erosion control netting installed per manufacturer's specifications. Lap netting minimum 2'-0" and stake.
- Grading shall be in conformance with all local codes and ordinances. Swales shall be a minimum of four (4) feet from all structures.
- Grades to be constant and uniform between spot elevations.

Architect



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 714 .389 .1890

Consultant



Client/Owner

**Main Street Cupertino Aggregator, LLC**  
 203 Redwood Shores Pkwy  
 Suite 200  
 Redwood City, CA 94065

Project

**MAIN STREET CUPERTINO LOFT RESIDENCES**  
 CUPERTINO, CA  
 STEVENS CREEK & FINCH  
 CUPERTINO, CA

Issues & Revisions

No.	Date	Description
12.11.2013	ASA 1st PLAN REVIEW	
12.18.2013	TYPE-I ONLY 1st PLAN REV.	
02.20.2014	CD PROGRESS SET	
03.26.2014	ASA 2nd PLAN REVIEW	
04.02.2014	TYPE-I ONLY 2nd PLAN REV.	
06.13.2014	TYPE-I ONLY PERMIT SET	
06.20.2014	ASA 3rd PLAN REVIEW	

Project Number: 12-121

Scale: -

Sheet Title  
 Landscape  
 Notes @ Legends

Sheet Number

L-1.1

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**COLOR AND FINISH SCHEDULE**

**PEDESTRIAN / VEHICULAR CONCRETE PAVING**

Type 1 Natural Gray Concrete with broom finish swept horizontal to path of travel; SRI = 47  
 Type 2 Natural Gray Concrete with broom finish swept horizontal to path of travel; silica carbide added. SRI = 47

\*All colors to be Davis Colors.  
 \*All colors to match Main St Cupertino Master Project concrete paving colors.  
 \*Contractor to provide mock-up for approval prior to installation.

**PEDESTRIAN ACCENT PAVING**

All by Colstone, contact: Mike Marhenke, tel. 408-598-0518  
 Paving units are to be dual mix design using Duraface/Face-Mix technology. Integral through colors are not acceptable.

Type 1 4x8x60mm Mission Paver; Color: #92-40%, #60-30%, #80-20%; #83-10%  
 Finish: Standard; Pattern: Running Band; 4 pavers in line to create linear paver effect. See pattern detail.  
 \*Pavers to match Main Street Cupertino Master Project Town Square paver paving in colors and pattern.  
 Type 2 6x12x60mm Mission Paver; Color: 92# (75%), #51 (25%) in alternating bands (2 paver bands). Finish: Standard, Pattern: running bond.  
 Type 3 6x6x60mm Mission Paver; Color: gray & charcoal & tan, Finish: Standard, Pattern: stacked  
 Type 4 12x12x60mm Mission Paver; Color: #96 (60%), #92 (30%) random mix, Finish: Standard, Pattern: stacked.  
 \*Contractor to submit samples and mock-up for approval prior to acquisition or installation.

**CONCRETE BAND**

Light Gray concrete (Davis Color), w/ smooth sandblast finish, SRI = 9.

**GRASS CELL VEHICULAR PAVING**

All by Hastings Architectural, available through Ackerstone, tel. (951) 674-0047.  
 Concrete Checker Block, Grid Standard Size 24" x 24"; color: natural gray.

**WOOD DECK PAVING**

Resysta decking by Resysta, tel. (909) 393-2800  
 Resysta Platinum system w/ Resysta clips, 1"x5 1/2" boards, color/finish: Walnut; running band pattern.

**TILE PAVING**

All by Spec Ceramics, Inc., tel. (800) 449-7732  
 'Stone Project' Porcelain tile by Ergon, color: Gray Falda, finish: Strutturato, size: 12"x24"

**PEDESTAL SYSTEM**

All by Bison Innovative Products, tel. (800) 333-4234  
 Screwjack Bison system, install per manufacturer's spec.

**PAVING EDGING**

All by Permaloc, tel. (800) 356-9660  
 Aluminum Paver Restraint - StructureEdge, Model: 3/16" x 2 1/4" w/ 0.210" top lip, finish: ML.

**GRAVEL PAVING**

All by Lyngso Garden Materials, tel. (650) 364-1730.  
 Type 1 1"x2" B5 Green Aqua Cove (as mulch for Bamboo).  
 Type 2 1"x2" Buff La Paz  
 \*Contractor to submit samples for approval prior to acquisition or installation.

**ARTIFICIAL TURF**

All by SYNLow, Brandon Kittredge, tel. (415) 686-1220.  
 SynFescue 354 Artificial Turf, install per manufacturers specifications.

**TRENCH DRAIN**

Treadmaster Deck Drain, by STEGMER CORPORATION, Model #: ALD-C-5, Aluminum Clear finish w/ Aluminum Clear Top Cap, Model #: ALD-C-NB-5. Install per manufacturer's spec. / OR SIMILAR TO MATCH ARCH.  
 QTY (approx. 60 linear ft / final per drawings)

**WALLS**

Type 1 Paired in place Concrete Wall, Color: natural gray, Finish: smooth sack.  
 Type 2 Paired in place Concrete Wall, Color: Pebble. Finish: smooth sack.  
 Type 3 16x8x6 CMU block wall by Callstone, tel. (408) 984-2648  
 3blocks (24" tall) Color: S-6111LC, finish: ground face in running band pattern with 2" Precision cap, Color: to match.  
 \*Contractor to provide color chips for approval prior to installation.

**STUCCO FINISHES:**

Type 1 Flat stucco w/ paint, color: DE6191 Exclusive Ivory (to match arch).  
 Type 2 Flat stucco w/ paint, color: DE6183 Home Plate (to match arch).  
 Type 3 Flat stucco w/ paint, color: DE5173 Deep Coral (to match arch).

\*Contractor to provide color chips for approval prior to installation.

**LIGHTING FIXTURES**

Pa



Light: See Electrical Drawings.  
 by Gardco, contact ALR: Tim Haley, tel. (510) 638-3800 X185.  
 Model: BR840, color/finish: NP-natural aluminum paint. QTY: 9

Wall Light: See Electrical Drawings.  
 by Gardco, contact ALR: Tim Haley, tel. (510) 638-3800 X185.  
 94Line LED, Model: 941L-C-DG-31LA-NW-120V-NP, color/finish: natural aluminum. QTY: 40

Up-Light: See Electrical Drawings.  
 by BK Lighting, contact ALR: Tim Haley, tel. (510) 638-3800 X185.  
 Denali Series Floodlight, Model: DE-LED-X24-FL-SAP-10-B, color/finish: aluminum. QTY: 25

Micro Up-Light: See Electrical Drawings.  
 by BK Lighting, contact ALR: Tim Haley tel. (510) 638-3800x185.  
 Micro Nite Star Series, LED w/ "C" Cap, flood light, color/finish: SAP (satin aluminum); QTY: 10

Paving Up-Light: See Electrical Drawings  
 by Bego, contact ALR: Tim Haley tel. (510) 638-3800x185.  
 LED-in grade small scale asymmetrical floodlight, Model: 7119LED, color/finish: brushed stainless steel. QTY: 4

String Light: See Electrical Drawings.  
 by Tivoli Lights, contact ALR: Tim Haley, tel. (510) 638-3800 X185.  
 LED Tivoli Twilights T 1 3/4 HB LED w/ replaceable miniature lamps w/clear lens caps; Model: TWSL-06-T-WW-12; Class II transformer for outdoor wet location use w/ multiple outputs; install per manufacturer's specifications. QTY: approx. 90 linear ft

**FENCE AND GATES**

Prime metal work with two (2) coats of rust-inhibiting paint. Apply two (2) coats finish paint to all exposed metal work except gate hardware. Color to be 'old zinc grey' (to match arch).

**Fence Panel**

Resin Panel, by 3form (www.3-form.com) OR SIMILAR  
 Type 1 koda c3, 1/4 gauge, color: bliss; cut to size  
 Type 2 koda TX, 1/4 gauge, crystal clear or glass, cut to size  
 Type 3 koda c3, 1/4 gauge, color: xt oj, cut to size

**TRASH/RECYCLING RECEPTACLES**

All by Landscape Forms, contact Rebecca Casey, tel. 800-430-6206 x 1313  
 Type 1 PETOSKEY 30-gallon capacity litter receptacle in cluster of 3. With tube support, surface mounted, silver powdercoat color; hinged lids in 3 colors: green, blue, gray. Cut-out sign in perforated metal: Recyclables, Compost, Trash.  
 QTY (3) (MAIN ST. CUPERTINO MASTER PROJECT)  
 Type 2 Lakeside, w/ trash and recycle containers, Color and Finish: silver powdercoat w/ random circle cut-out (custom), QTY (7)

**PLANTERS**

All by YardArt, contact Jason Levine, tel. 925-234-3153.  
 All with Drainage Fittings & Irrigation Sleeves;  
 Type 1: Low Rectangular Planter, 60"x14"x14" tall; recycled aluminum; Color and Finish: powdercoat rust. QTY (2)  
 Type 2: Cylinder Planter, 25" diam x 20" tall; recycled aluminum; Color and Finish: powdercoat rust. QTY (15)  
 Type 3: Askew Planter, 42" diam x 34" tall, recycled aluminum; Color and Finish: powdercoat custom orange. QTY (6)  
 Type 3: Oversized Planter, 60" diam x 40" tall; recycled aluminum; Color and Finish: powdercoat rust. QTY (2)  
 (MAIN STREET CUPERTINO MASTER PROJECT).

**SITE BIKE RACK**

All by BikeParking, tel. (415) 333.6428.  
 Well Series, Model: WCR02-IG-P; in-ground; color/finish: (T357-GR105 Silver Metallic). QTY: x

**SITE BENCH (MAIN STREET CUPERTINO MASTER PROJECT)**

All by YardArt, contact Jason Levine, tel. 925-234-3153.  
 Cantilever Bench, Model: 303; 54" x 16" x 18" tall, Color and Finish: Charcoal Gray Powdercoat Steel Construction, IPE wood finished slats top; QTY (2)

**SHADE STRUCTURE / ELEMENT**

by Tensile Shade Products, www.tensileshadeproducts.com  
 Sunbird II TM, shade fabric color: orange;  
 metal construction: metal gray powdercoat.  
 QTY: 2

**METAL POLE**

12' tall round steel tapered pole w/ pole cap;  
 by Union Metal Corporation;  
 Model: #737-24 contemporary style deco aluminum split base w/ (4) 1.25" diam. GR55 anchor bolts.  
 Powdercoat color: 'old zinc grey' (to match arch).  
 QTY: 3

**BARBEQUE**

Built-in BBQ:  
 OB36/NG Dacor Epicure 36" Built-In Grill with Double Access Doors: OBAD36 for use with Natural Gas. Include automatic timed shutoff valve.  
 Available from: Dacor tel. (800)-793-0093. QTY:2  
 Countertop:  
 Caesarstone w/ Turned Down Square Edge, contact Miguel Thurston tel. (415)-377-0909.  
 Model: 30mm thick, polished, color: 2030 Haze. Add sealant suitable for exterior use and food preparation areas.

**BAR / CAFE SEATING**

All by LandscapeForms, contact Rebecca Casey, tel. 800-430-6206 x 1313  
 BAR: Model: Jessie bar, 42" rail w/ 12' bar top and backrest, surface mounted, color/finish: stormcloud support, silver bar top. QTY: (6) 8' modules + (2) 4' modules  
 Model: Bernie bar stools, backless, surface mounted, color/finish: stormcloud support, silver seat surfaces. QTY: 13  
 CAFE TABLES: Model: Stella table; surface mounted, color/finish: stormcloud support, silver table top. QTY: 2  
 CAFE SEATS: Model: Sophie Seat; surface mounted, right and left handback; color/finish: stormcloud support, silver seat surfaces. QTY: 2+2

**TABLES AND CHAIRS**

All by Fermob, www.fermob.com, contact local retailer:  
 Chair: Model: Surprising, color/finish: steel gray. QTY: 20  
 Table: Model: Concorde, 60cm round, color/finish: carrot and fjord blue. QTY: 5 + 5  
 Communal Table: Bellevie, color/finish: carrot.  
 QTY: 2  
 Communal Bench: Bellevie, color/finish: steel gray.  
 QTY: 4

**LOUNGE FURNITURE**

All by Jane Hamley Wells, tel. 773-227-4988.  
 Model: Airball, color/finish: white matte  
 Sofa - QTY: (1)  
 Chair - QTY: (5)

**SPHERE ELEMENTS**

Gazing Globes by 1-World Globes T (877)-884-2402 OR SIMILAR.  
 Stainless Steel Globes w/ polished mirror finish.  
 Treaded metal rod at the bottom of each globe to be provided by manufacturer.  
 Final locations to be field adjusted by landscape architect prior to installation.  
 Model: Glazing Globe 30" Quantity: 4

**PET WASTE DISPENSER**

By Dog-On-it-Parks, tel. (877) 348-3647  
 DOI Complete Dog-Waste Station, Model: #7408, QTY: 1

**DRINKING FOUNTAIN**

1) Single: Drinking Fountain w/ Square Pedestal and Stainless Bowl, by Belson Outdoors, tel. (630) 897-8489  
 Model: #3377G, stainless steel finish. QTY: 1  
 2) Double: Deluxe Dog Watering Station, by Dog-On-it-Parks, tel. (877) 348-3647  
 Model: #7214, stainless steel finish. QTY: 1

Architect



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 714 389 1890

Consultant



181 Greenwich Street  
 San Francisco, CA 94111  
 T 415 433 8272  
 F 415 433 3889



Client/Owner

Main Street Cupertino  
 Aggregator, LLC

203 Redwood Shores Pkwy  
 Suite 200  
 Redwood City, CA 94065

Project

MAIN STREET CUPERTINO  
 LOFT RESIDENCES

CUPERTINO, CA  
 STEVENS CREEK & FINCH  
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APPROVAL: ASA-2013-09  
 7-15-14  
 SIGNATURE: [Signature]  
 DATE: 7-15-14

Project Number: 12-121

Scale: -

Sheet Title

Layout  
 Color and Finish Schedule

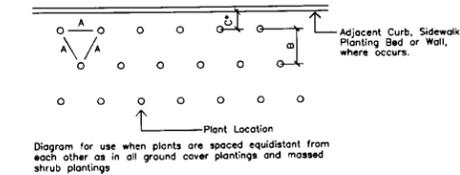
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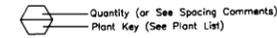
**PLANTING NOTES**

- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-cast planter pots. Mulch shall be Black in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Cupertino. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with "deep root" and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- Geotech drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings. Material available through: TWE Products, Orinda, CA 925.708.0549. All Geotech board shall be completed covered with filter fabric as shown in the drawings and per manufacturer's specifications.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$xx,000.000 (xx Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.

**PLANT SPACING DIAGRAM**



**PLANT CALLOUT SYMBOL**



**PLANT QUANTITY DIAGRAM**

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
8" O.C.	5.20'	2.60'	4.60
8" O.C.	6.93'	3.47'	2.60
9" O.C.	7.79'	3.90'	1.78
10" O.C.	8.66'	4.33'	1.66
12" O.C.	10.40'	5.20'	1.15
15" O.C.	13.00'	6.50'	0.74
18" O.C.	15.60'	7.80'	0.51
24" O.C.	20.80'	10.40'	0.29
30" O.C.	26.00'	13.00'	0.18
36" O.C.	30.00'	15.00'	0.12
48" O.C.	40.00'	20.00'	0.07
72" O.C.	62.35'	31.18'	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

\* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

**LANDSCAPE SOIL SPECIFICATION GUIDELINES**

**PHYSICAL PROPERTIES**

USDA classification of fraction passing 2.0 mm sieve:  
Designation: sandy loam, sandy clay loam, clay loam or loam.

Class	Particle size range	maximum, %	minimum, %
Coarse sand	0.5 - 2.0 mm	15	0
Silt	<0.05 mm	70	30
Silt plus clay	0.002 - 0.05 mm	40	10
Clay	0 - 0.002 mm	35	10

Other classes

Gravel	2 - 13 mm	20	0
Rock	None > 1/2 inch	10% by volume with none > 1 inch	0
Organic		15%	0
Organic (Amended Soil)		10%	3%

**CHEMISTRY - SUITABILITY CONSIDERATIONS**

- SALINITY: Saturation Extract Conductivity (ECe) Less than 4.0 dS/m @ 250 C.
- SODIUM: Sodium Absorption Ratio (SAR) Less than 6.0
- BORON: Saturation Extract Concentration Less than 1.0 ppm
- REACTION: pH of Saturated Paste 5.5 - 7.5

**FERTILITY CONSIDERATIONS**

Soil to contain sufficient quantities of available nitrogen, phosphorus, potassium, calcium and magnesium to support normal plant growth. In the event of nutrient inadequacies, provisions shall be made to add required materials prior to planting. See planting notes.

**INFILTRATION RATE**

Inches/Hour	maximum	minimum
Amended Soil	0.45	0.20

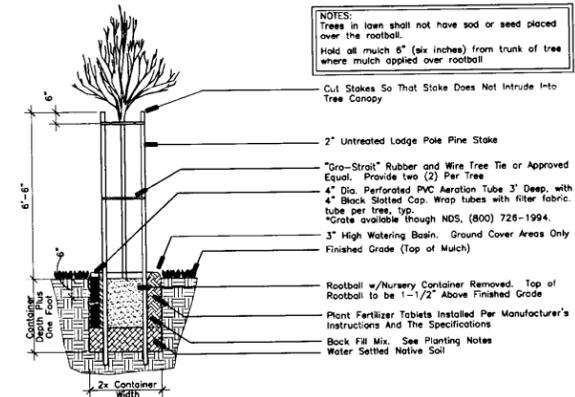
**PLANT PALETTE**

TREES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
ARB MAR	24" box		Arbutus menziesii	Strawberry Tree	Multi-trunk	L	-
CHA HUM	24" box		Chamaerops humilis	Mediterranean Fan Palm		L	-
FRU AKE	24" box		Prunus 'Akebono'	Akebono Cherry		M	-

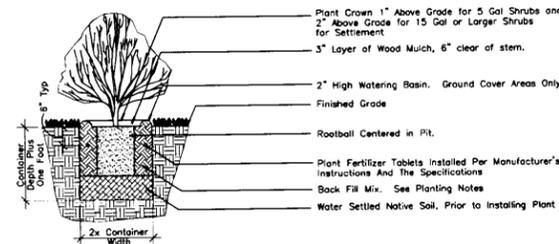
SHRUBS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
BAK	15 gal		Bambusa 'Alphonse Karr'	'Alphonse Karr' Bamboo		L	-
DBI	5 gal		Diets b. 'Liz's Selection'	Fortnight Lilly 'Liz's Selec.'		L	-
HBO	15 gal		Himalayacalamus hookerianus	Blue Bamboo		L	-
LAV	5 gal		Lavandula intermedia	Lavender		L	-
NDC	5 gal		Nandina domestica 'Obsession'	Heavenly Bamboo		L	-
LCB	5 gal		Loropetalum ch. 'Blush'	Red Fringe Flower		L	-
PFI	5 gal		Phormium 'Firebird'	Phormium 'Firebird'		L	-
PMU	5 gal		Phormium 'Margaret Jones'	Margaret Jones New Zealand Flax		L	-
PTT	5 gal		Phormium 'Tom Tumb'	'Tom Tumb' New Zealand Flax		L	-
PTW	5 gal		Phormium 'Yellow Wave'	'Yellow Wave' New Zealand Flax		L	-
SRE	5 gal		Streitizia reginae	Bird of Paradise		L	-
CRV	5 gal		Cycas revoluta	Sago Cycad		M	-

SUB SHRUBS, GRASSES, FERNS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
ASA	5 gal		Aspiastro elatior 'Asahi'	Lime Striped Cast Iron Plant		L	-
NDF	5 gal		Nandina domestica 'Flirt'	Heavenly Bamboo		L	-
PMU	5 gal		Polystichum munifolium	Western Sword Fern		M	-
NMF	1 gal		Now Mow Fescue	Delta Sod Fescue		M	-
OJ	1 gal		Ophiopogon japonicus	Black Mondo Grass		M	-

GROUNDCOVERS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
BG	5 gal		Bougainvillea 'San Diego Red'	Bougainvillea		L	-
LMU	1 gal		Liriope muscari 'Majestic'	Lily Turf		L	-
SED	Flats		Sedum 'Lemon Lime'	Stonecrop		L	-
SMA	1 gal		Senecio mandraliscae	Blue Chalk Sticks		L	-



**Tree Staking Diagram with Aeration Tube**



**Shrub Planting Detail**

APPROVAL: ASA-2013-09  
 DATE: 7-15-14  
 SIGNATURE: [Signature]  
 DATE: 7-15-14

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**Issues & Revisions**

No.	Date	Description
12.11.2013	ASA 1st PLAN REVIEW	
12.18.2013	TYPE-J ONLY 1st PLAN REV	
02.20.2014	CD PROGRESS SET	
03.28.2014	ASA 2nd PLAN REVIEW	
04.02.2014	TYPE-J ONLY 2nd PLAN REV	
06.13.2014	TYPE-J ONLY PERMIT SET	
06.20.2014	ASA 3rd PLAN REVIEW	

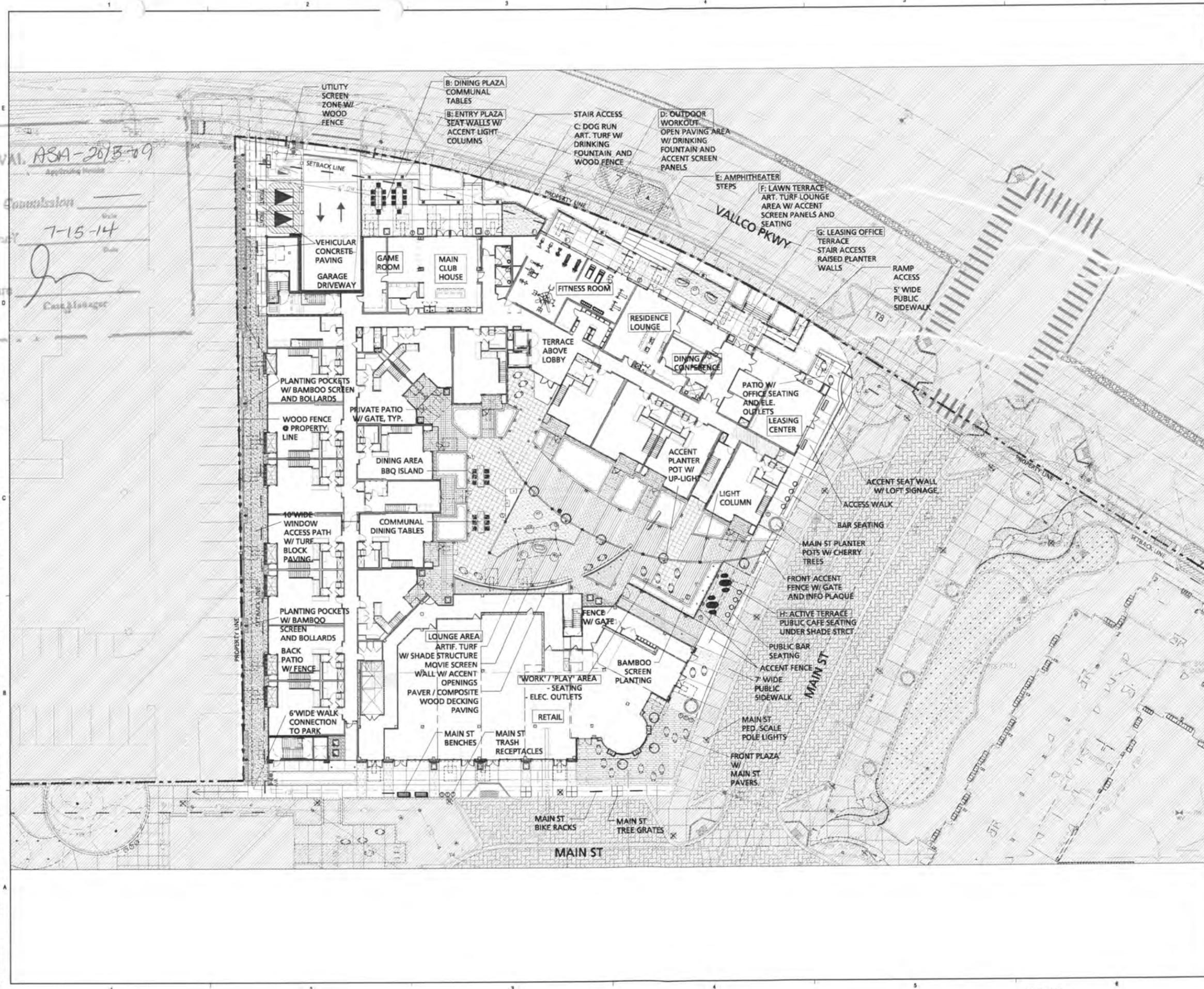
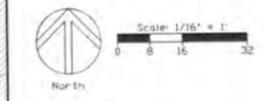
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**Scale:** -  
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**Sheet Number:** L-1.3

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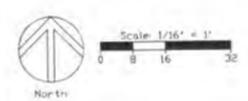


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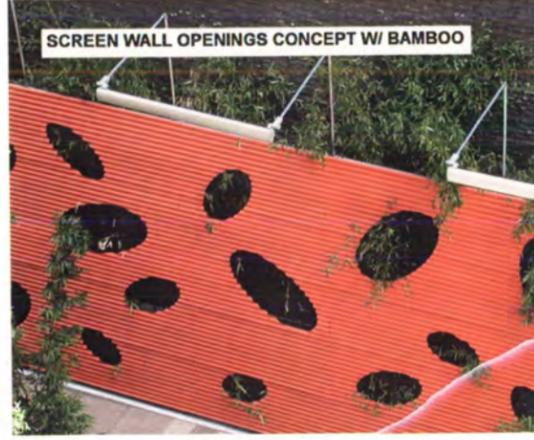
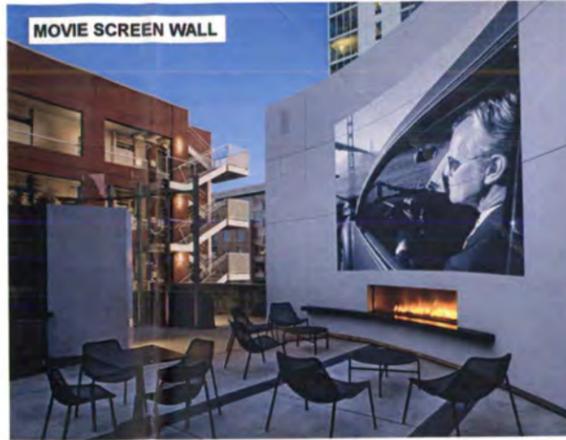
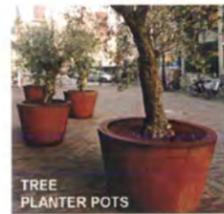


Project Number: 12-121  
 Scale: 1/16" = 1'-0"  
 Sheet Title  
**Fine Grading Plan**

Sheet Number  
**L-3.1**



# MAIN STREET CUPERTINO FRONTAGE



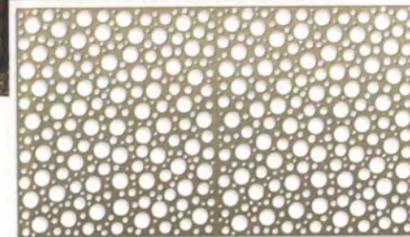
WALLS, GATES & SCREENING



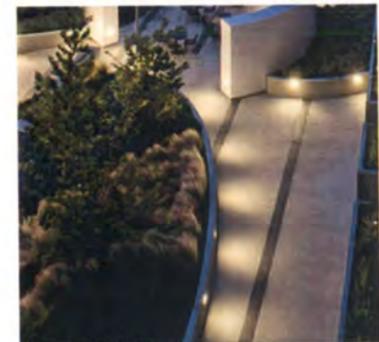
PAVING MATERIALS



## FURNISHINGS



## LIGHTING



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APPROVAL ASA 2013-09

Planning Commission  
 City Council? 7-15-14

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 Scale: -  
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