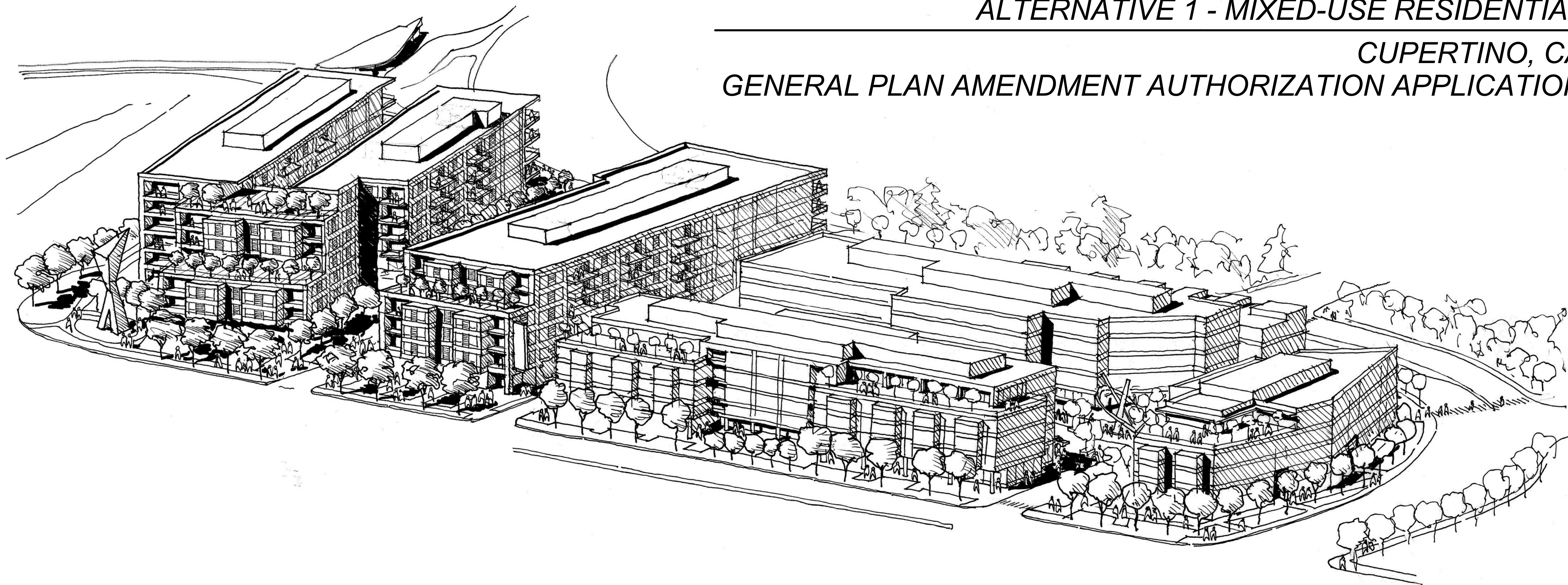


WESTPORT CUPERTINO

ALTERNATIVE 1 - MIXED-USE RESIDENTIAL

CUPERTINO, CA

GENERAL PLAN AMENDMENT AUTHORIZATION APPLICATION



ARCHITECTURE INC
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PORTLAND OREGON 97209
503 444 2200

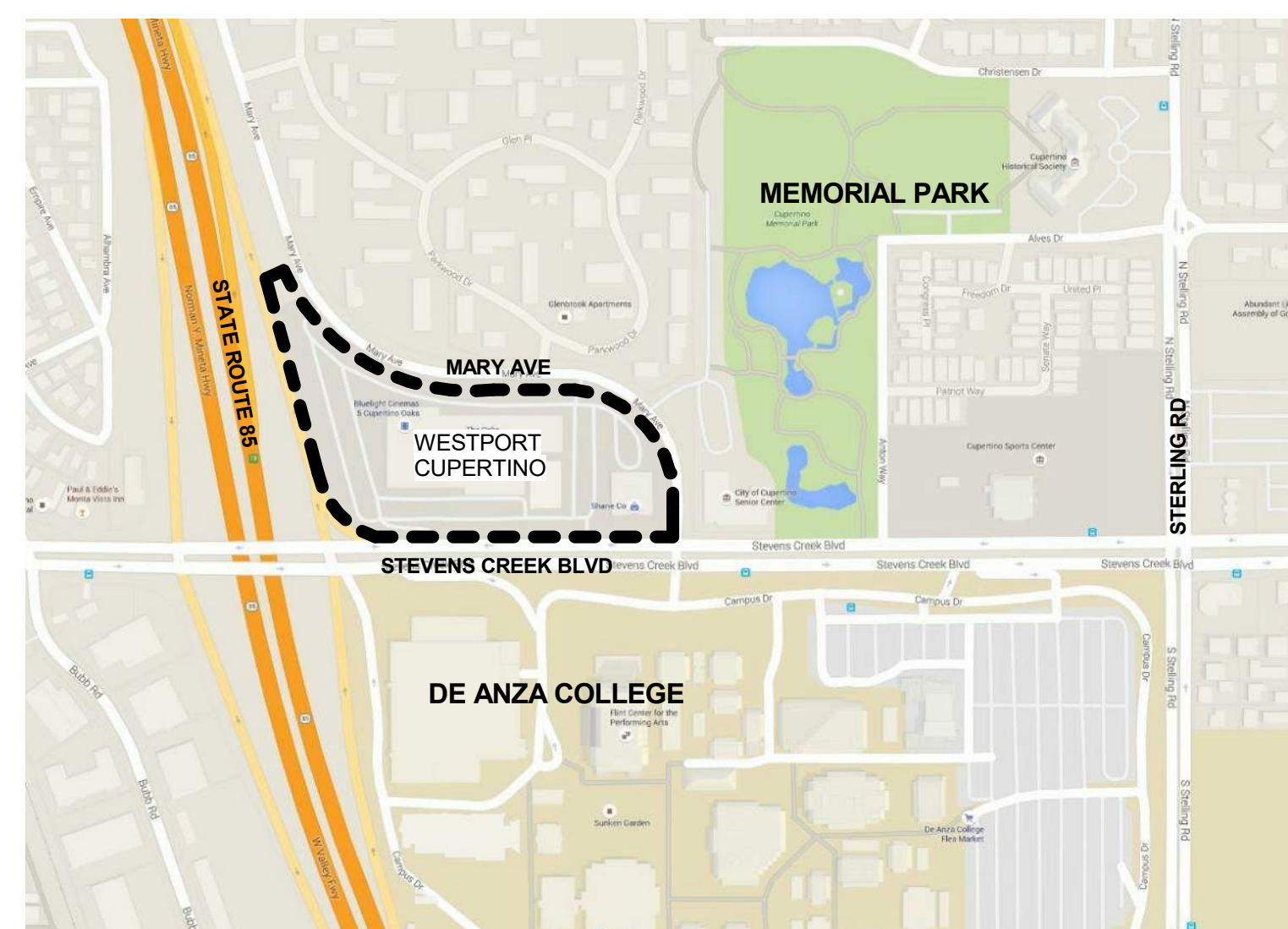
WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

VICINITY MAP



PROJECT TEAM

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CONTACT: MARK TERSINI

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GENERAL PLAN AMENDMENT APP

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SHEET TITLE:
COVER SHEET ALTERNATIVE 1

SHEET NO.:
G.100

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WESTPORT CUPERTINO

KT Urban

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO.: 14148
 DRAWN: Author
 DATE: 15 MAY 2017
 GENERAL PLAN AMENDMENT APP

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**ILLUSTRATIVE SITE PLAN -
ALTERNATIVE 1**

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G.101

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GENERAL PLAN AMENDMENT APP



NORTH

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BUILDING CODE DATA (CONT.):

4. OCCUPANT LOAD:

- Res-Retail Building A - Res:	640 Occupants	(127,820 SF / 200 GSF per Occ)
- Res-Retail Building A - Retail:	232 Occupants	(13,875 SF / 60 GSF per Occ)
- Res-Retail Building B - Res:	450 Occupants	(96,465 SF / 200 GSF per Occ)
- Res-Retail Building B - Retail:	262 Occupants	(15,710 / 60 GSF per Occ)
- Res-Retail Building C - Res:	290 Occupants	(61,700 SF / 200 GSF per Occ)
- Res-Retail Building C - Retail:	208 Occupants	(12,425 SF / 60 GSF per Occ)
- Residential Building D:	1,155 Occupants	(230,810 SF / 200 GSF per Occ)
- Res-Retail Building E - Res:	743 Occupants	(148,520 SF / 200 GSF per Occ)
- Theater - Building E:	102 Occupants	(27,500 SF / Occ per seating)
- Below-Grade Parking Garage:	3,660 Occupants	(732,135 SF / 200 GSF per Occ)

RESIDENTIAL UNIT MATRIX:

Residential-Retail Building A (Northern Building)					
Unit Mix	Studio	1 BR	2BR	Total	
Level 6					-
Level 5	5	13	5		23
Level 4	5	13	5		23
Level 3	11	17	5		33
Level 2	12	16	3		31
Level 1	1	4	-		5
Total Units	34	63	18		115
Ratio %	29.6%	54.8%	15.7%		100%

Residential-Retail Building B (Southern Building)					
Unit Mix	Studio	1 BR	2BR	Total	
Level 5	4	8	1		13
Level 4	6	13	5		24
Level 3	6	13	5		24
Level 2	6	13	5		24
Total Units	22	47	16		85
Ratio %	25.9%	55.3%	18.8%		100%

Residential-Retail Building C (Eastern Building)					
Unit Mix	Studio	1 BR	2BR	Total	
Level 5	-	1	6		7
Level 4	20	1	-		21
Level 3	20	1	-		21
Level 2	20	1	-		21
Total Units	60	4	6		70
Ratio %	85.7%	5.7%	8.6%		100%

Residential Building D (Western Bldg)					
Unit Mix	Studio	1 BR	2BR	Total	
Level 7	10	13	5		28
Level 6	10	15	5		30
Level 5	10	15	5		30
Level 4	10	15	5		30
Level 3	10	15	7		32
Level 2	10	15	7		32
Level 1	9	13	5		27
Total Units	69	101	39		209
Ratio %	33.0%	48.3%	18.7%		100%

Residential-Retail Building E (Central Bldg)					
Unit Mix	Studio	1 BR	2BR	Total	
Level 6	10	11	3		24
Level 5	10	11	3		24
Level 4	10	11	5		26
Level 3	10	11	5		26
Level 2	10	3	3		16
Level 1	6	2	2		10
Total Units	56	49	21		126
Ratio %	44.4%	38.9%	16.7%		100%

Total Residential Housing					
Unit Mix	Studio	1 BR	2BR	Total	
Level 7	10	13	5		28
Level 6	20	26	8		54
Level 5	29	48	20		97
Level 4	51	53	20		124
Level 3	57	57	22		136
Level 2	58	48	18		124
Level 1	16	19	7		42
Total Units	241	264	100		605
Ratio %	39.8%	43.6%	16.5%		100%

BUILDING CODE DATA:

1. LOCAL CODES :

- 2016 California Building Standards Codes & Cupertino Municipal Code Chapter 16.04
- 2016 California Building Code, w/ local amendments
- 2016 California Electrical Code, w/ local amendments
- 2016 California Mechanical Code, w/ local amendments
- 2016 California Plumbing Code, w/ local amendments
- 2016 California Energy Code, w/ local amendments
- 2016 California Fire Code, w/ local amendments
- 2016 California Green Building Standards (CALGreen) Code, w/ local amendments

- Accessibility
- Fair Housing Safe Harbor: 2003 ICC/ANSI A117.1
 - 2010 ADA Standards for Accessible Design

2. BUILDING USE AND OCCUPANCY :

Occupancy Groups (Separated & Non-Separated)

- Residential-Retail Buildings:
 - Residential Units: Group R-2, Separated
 - Lobby/Office: Group A-3, Non-separated
 - Fit Center: Group A-3, Non-separated
 - Conference Room: Group A-3, Separated
 - Theater: Group A-1, Separated
 - Retail: Groups A-2 and M, Separated
- Transit Center: Group A-3, Separated

3. BUILDING HEIGHTS AND AREAS :

Story, Height, and Area Limitations:

- Residential-Retail Building A - Construction Type VA over IA:
 - Allowable Stories: 4 Stories over 1 Story allowed per Table 504.4 and Section 510.2
 - Actual Stories: 4 Stories Residential Building, over 1 Story Retail
 - Maximum Building Height: 60'-0" per Table 504.3
 - Actual Building Height: 60'-0" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)
 - Allowable Building Area: 24,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2; Unlimited for Type IA Retail
 - Actual Building Area: 33,740 SF, w/ 2-Hr rated fire walls to subdivide residential floor levels; 13,875 GSF Retail

- Residential-Retail Building B - Construction Type VA over IA:
 - Allowable Stories: 4 Stories over 1 Story allowed per Table 504.4 and Section 510.2
 - Actual Stories: 4 Stories Residential Building, over 1 Story Retail
 - Maximum Building Height: 60'-0" per Table 504.3
 - Actual Building Height: 60'-0" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)
 - Allowable Building Area: 24,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2; Unlimited for Type IA Retail
 - Actual Building Area: 23,400 SF, w/ 2-Hr rated fire walls to subdivide residential floor levels; 15,700 GSF Retail

- Apartment-Retail Building C - Construction Type VA over IA:
 - Allowable Stories: 4 Stories over 1 Story allowed per Table 504.4 and Section 510.2
 - Actual Stories: 4 Stories Residential Building, over 1 Story Retail
 - Maximum Building Height: 60'-0" per Table 504.3
 - Actual Building Height: 60'-0" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)
 - Allowable Building Area: 24,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2; Unlimited for Type IA Retail
 - Actual Building Area: 14,440 SF, w/ 2-Hr rated fire walls to subdivide residential floor levels; 12,425 GSF Retail

- Residential Building D - Construction Type IA:
 - Allowable Stories: Unlimited Stories allowed per Table 504.4
 - Actual Stories: 7 Stories, not a "high rise" building
 - Maximum Building Height: Unlimited per Table 504.3
 - Actual Building Height: 75'-0" to top of roof (N.I. stair and elevator overruns or fall protection)
 - Allowable Building Area: Unlimited per Table 506.2
 - Actual Building Area: 230,810 GSF

- Residential-Retail Building E - Construction Type IA:
 - Allowable Stories: Unlimited Stories allowed per Table 504.4
 - Actual Stories: 6 Stories, not a "high rise" building
 - Maximum Building Height: 75'-0" per Section 504.3
 - Actual Building Height: 70'-0" to top of roof parapet (N.I. stair and elevator overruns or fall protection)
 - Allowable Building Area: Unlimited per Table 506.2
 - Actual Building Area: 157,520 GSF (incl Comm Space and Theater Lobby)

- Below-Grade Parking Garage - Construction Type IA:
 - Allowable Stories: Unlimited Stories allowed per Table 504.4
 - Actual Stories: 3 Stories below grade
 - Allowable Building Area: Unlimited per Table 506.2
 - Actual Building Area: 720,000 GSF

- Transit Center - Construction Type VB, Occupancy A-1, Sprinklered NFPA 13 (S1)

ZONING CODE DATA:

1. GENERAL PLAN/ ZONING:

- General Plan Guidelines: Community Vision 2040, and the Heart of the City Specific Plan Title 19
- Zoning Reference: Commercial / Residential P(CG/RES)
- (E) Land Use Designation: P(CG/RES)
- (E) Zoning Designation: P(CG/RES)
- Site Area, Gross: 8.1 acres; 352,836 GSF
- Site Area, Net: 7.9 acres; 343,958 NSF (Gross Site Area - 8,878 SF for Public Roadway/Public Utilities easement)
- Lot Coverage: 40% (136,040 SF / 343,958 NSF)
- F.A.R.: 2.105 (724,000 GSF / 343,958 NSF)
- Allowable Density (DUA): 30 DUA, up to a maximum of 200 units
- Proposed Density (DUA): 34 DUA, for a total of 270 Units (includes a 35% BMR state density bonus). Therefore, the proposed density is not a General Plan amendment.

2. HEIGHT:

- Zoning Max Allowable Height: 45'-0" Max
- Actual Project Max Height: 75'-0" to top of roof of Bldg D
- See Amendments request below. See Building Code Data for heights of each proposed building.

3. MINIMUM YARDS BUILDING SETBACKS :

- Stevens Creek Blvd (South side): 35'-0" from edge of curb
- Mary Ave (East side): 9'-0" from property line
- Mary Ave (North Side): 9'-0" from property line
- Highway 85 (West Side): 35'-6" from property line (eq. to 1/2 ht. of Bldg D)
- See General Plan Amendments request below. See Architectural Site Plan sheet G.103 for Building Setbacks dimensions.

4. OPEN SPACE:

- See Open Space Area Calcs Site Plan sheet G.105. No "Recreation Area" has been designated within this project.

5. AUTO PARKING:

- Required Parking for Each Building Use, per Parking Table 19.124.040(A) for Retail and Residential:
 - Conf Rm/Community Space: 39 Spaces (Uni-size)
 - Retail (42,000 SF): 168 Spaces (Uni-size)
 - Residential (605 units): 1,210 Spaces (9'-6"x20')
 - Total Required Spaces: 1,417 Spaces
- Required Parking for Residential, per Density Bonus Ordinance Table 19.56.040B:
 - (1) Space per Studio & 1-Bedroom Units, for 505 Units
 - (2) Spaces per 2-Bedroom Units, for 200 Units
 - Residential (605 units): 705 Spaces (9'-6"x20')
 - Revised Total Required Spaces: 912 Spaces
- Provided Parking for Each Building Use:
 - Retail: 168 Spaces (Uni-size)
 - Theater: 102 Spaces (Uni-size)
 - Transit Center: 50 Spaces (Uni-size)
 - Residential: 1,160 Spaces (9'-6"x20')
 - Add'l Grade-Level Spaces: 23 Spaces (Uni-size)
 - Total Provided Spaces: 1,503 Spaces

- Provided Parking meets the reduced parking demand of 1,140 spaces for the buildings per SANDIS' Parking Assessment Letter; see Parking Garage sheet A.103 for Parking Matrix and parking layout.

6. BICYCLE PARKING:

- Required Bicycle Parking for Each Building Use, per Parking Table 19.124.040(A):
 - Residential (1/ 2 units): 303 Spaces (Class I)
 - Residential (1/ 10 units): 61 Spaces (Class II)
 - Retail (1/ 5,000 SF): 14 Spaces (Class II)
 - Transit Center: 10 Spaces (Class II)
 - Total Required Spaces: 388 Spaces

- Provided Parking for Each Building Use:
 - Residential: 303 Spaces (Class I)
 - Residential: 61 Spaces (Class II)
 - Retail: 14 Spaces (Class II)
 - Transit Center: 10 Spaces (Class I)
 - Total Provided Spaces: 388 Spaces

- See architectural sheets A.103 for bicycle parking locations.

7. REQUESTED GENERAL PLAN AMENDMENTS (REFER TO APPLICATION):

- Increase in Building Height: Request to revise from 45'-0" to 75'-0" for tallest buildings on site.
- Increase in Residential Unit Allocation: Request to revise from 200 units to 448 units (for a total of 605 units on site). See Application for further explanation.

8. REQUESTED HEART OF THE CITY SPECIFIC PLAN EXCEPTIONS (REFER TO APPLICATION):

- Side Interior Setback: Request to revise setback at the western property line along Highway 85, specifically at the Transit Center, from 1/2 the building height to 0'-0" setback.
- Residential Common Open Space: Request to revise the residential common open space from 150 SF/unit to 70 SF/unit. The landscape common open space will be 70% of the total.

PROJECT SUMMARY:

1. STREET ADDRESS AND APN FOR SITE:

- Street Address: 21267 Stevens Creek Boulevard, Cupertino, CA 95014
- Parcel 1 (APN:326-27-039) and Parcel 2 (APN: 326-27-040 & 041) per Map 838, pg 24-25

2. PROJECT SUMMARY:

- Redevelopment of 71,254 SF Shopping Center (53,701 SF Retail, 17,503 SF Office) on 8.1 acres site, to provide mixed-use urban village with the following structures:
 - Residential-Retail Building A: 5-stories; 127,820 SF residential; 115 units; w/ 13,875 SF of ground-level retail. 12,135 SF garage w/ 10 grade-level parking spaces.
 - Residential-Retail Building B: 5-stories; 89,815 SF residential; 85 units;w/ 15,700 SF of ground-level retail.
 - Residential-Retail Building C: 5-stories; 58,060 SF residential; 70; w/ 12,425 SF of ground-level retail.
 - Residential-Retail Building D: 7-stories; 230,810 SF residential; 209 units.
 - Residential Building E: 6-stories; 148,520 SF residential; 126 units; w/ 4,000 SF Conference Facility / Community Space.

- Theater at Building E: 27,500 SF; 5 theaters. 5,000 SF at Bldg E Level 1, 22,500 SF at Below-Grade Basement.
- Transit Center: 1000 SF of covered Vertical Circulation to pedestrian bridge to center of Highway 85, and vehicular roundabout for unloading zone and local bus stop. Designated parking spaces in garage below.

- Below-Grade Parking Garage: 3-stories; 720,000 SF; 1,470 parking spaces, w/ 230 bicycle spaces

3. GPA PRELIMINARY PLAN CONTENT REQUIREMENTS:

- General Plan Land Use Designation: See Sheet G.102
- Zoning Designation: See Sheet G.102
- Scale and North Arrow: See drawings sheets
- Vicinity Map: See Sheet G.000
- Site Area: See Sheet G.102
- Lot Line Dimensions: See Sheet C.101
- Proposed Program: See Sheet G.102
- Density: See Sheet G.102
- Unit Plans: See Sheet A.109
- Setbacks: See Sheets G.103 & G.104
- Site Plan, Existing: See Sheet C.101
- Site Plan, Proposed: See Sheet G.101
- Existing Buildings on Adjoining Properties: See Sheet A.111
- General Plan Amendment Requests & Heart of the City Specific Plan Exceptions: See Sheets G.102 thru G.105
- Preliminary Floor Plans: See Sheets A.101 thru A.103
- Preliminary Grading Plans, Existing: See Sheet C.101
- Preliminary Grading Plans, Proposed: See Sheet C.101
- Preliminary Elevations, Proposed: See Sheets A.105 thru A.108
- Preliminary Architectural Renderings: See Sheets A.105 thru A.108
- Proposed Materials and Colors: See Sheets A.105 thru A.108
- Preliminary Building Cross-Sections: See Sheet A.104
- Public Improvements: See Sheets C.101 and C.102
- Driveways/Parking: See Sheets A.101 and A.103
- Loading/Unloading Areas: See Sheets A.101 and A.103
- Parking (Required and Proposed): See Sheets G.102 and A.103
- Preliminary Landscape Plans: See Sheet L.101
- Open Space and Common Area: See Sheet G.105
- Phasing Plan: See Sheet A.110



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503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

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SHEET TITLE:
PROJECT SUMMARY - ALTERNATIVE 1

SHEET NO.:
G.102

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WESTPORT CUPERTINO

KT Urban

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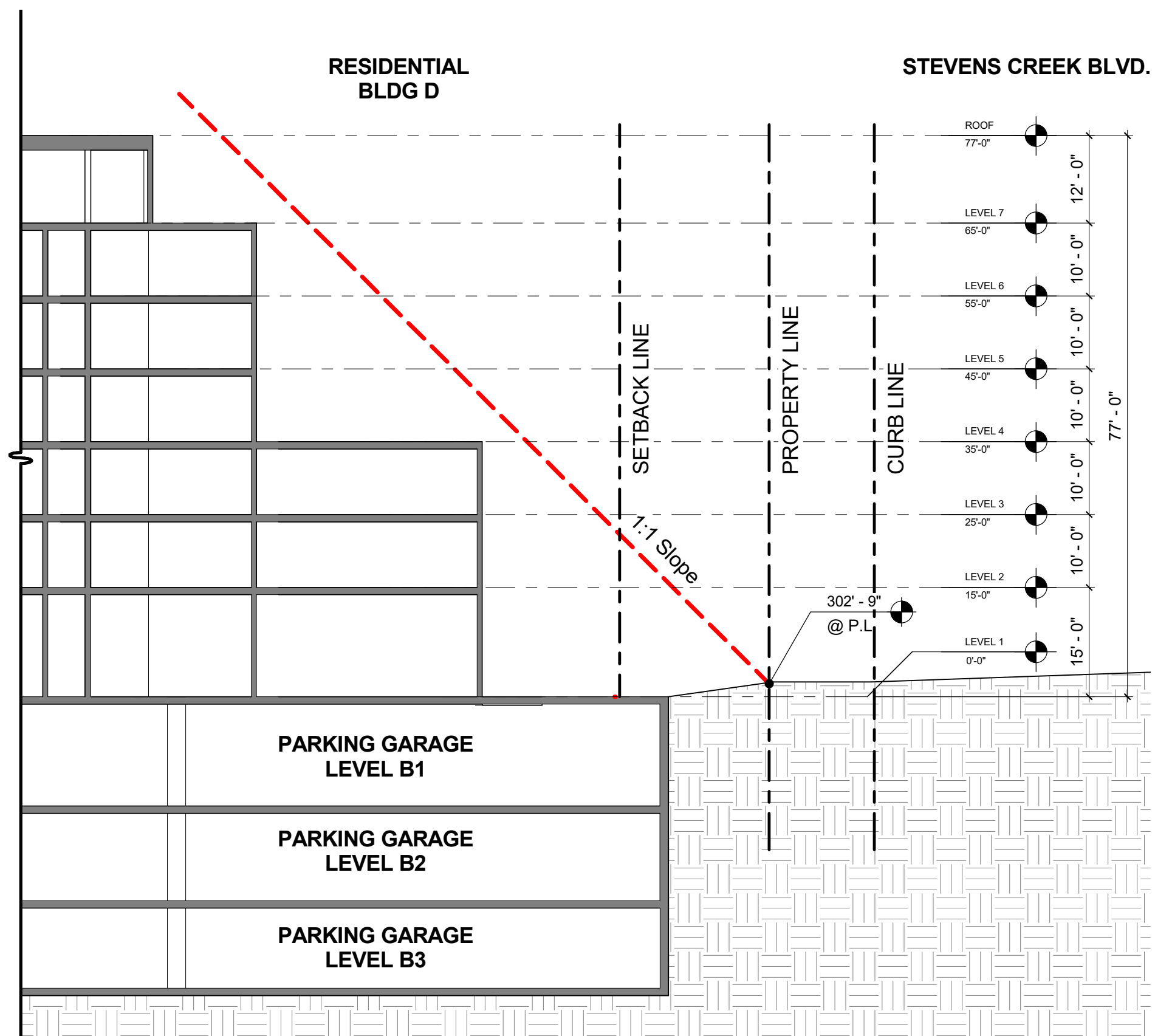
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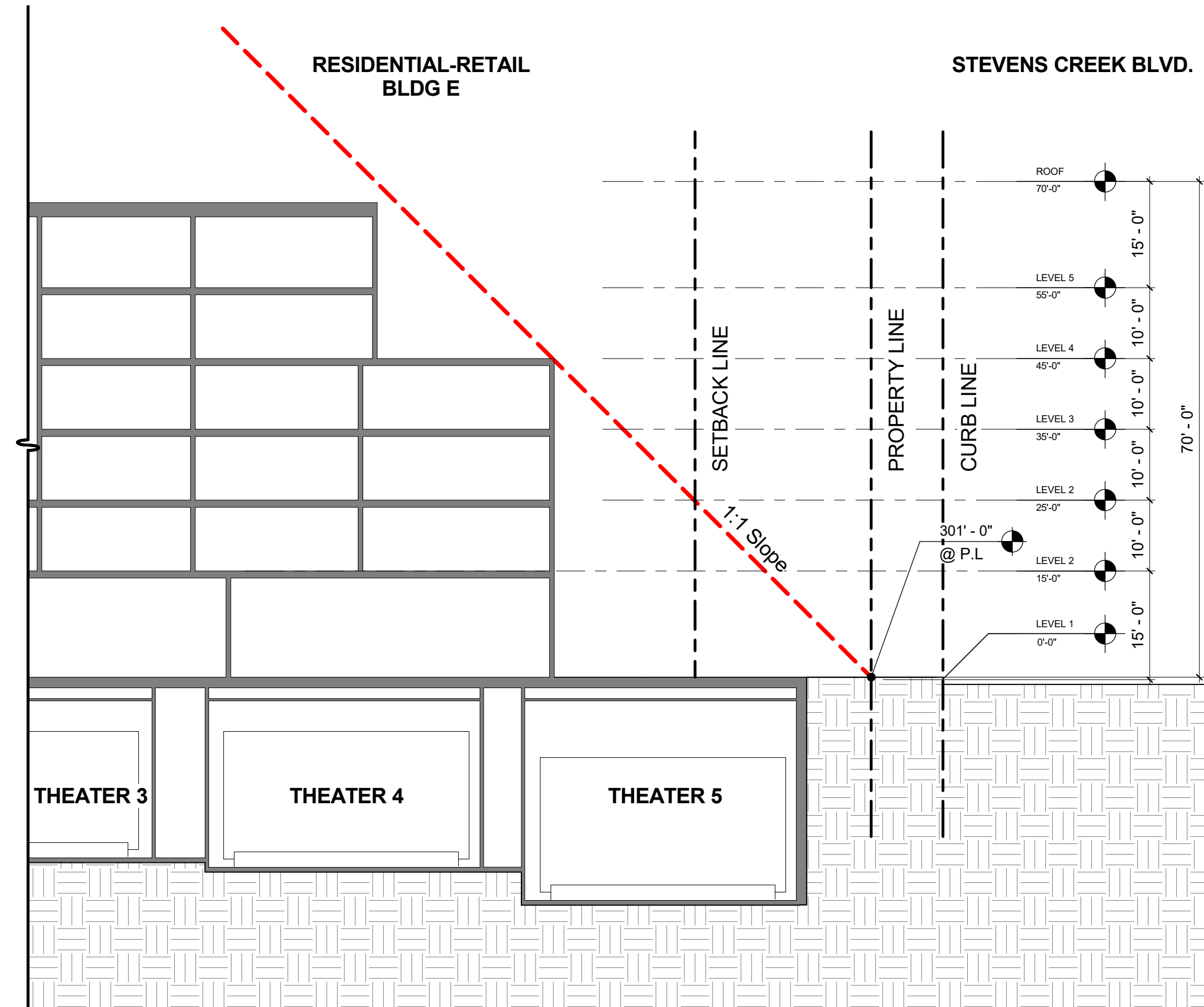
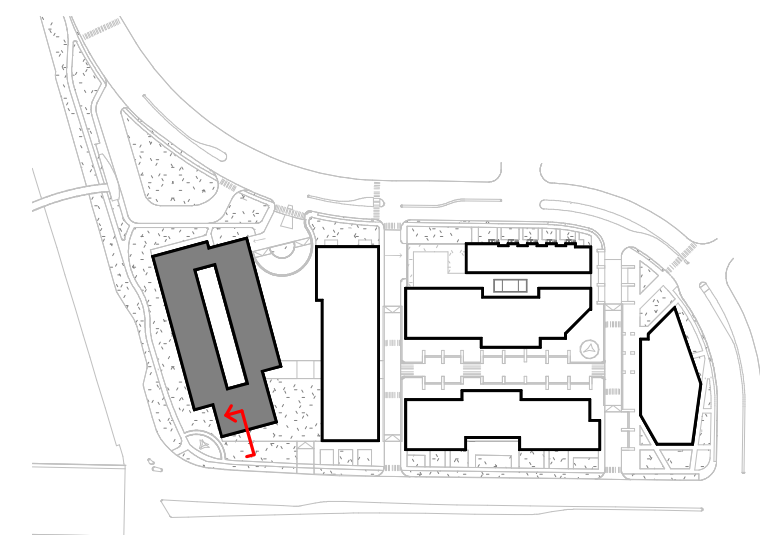
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**1-1 SLOPE SETBACKS -
 ALTERNATIVE 1**

SHEET NO.:
G.104

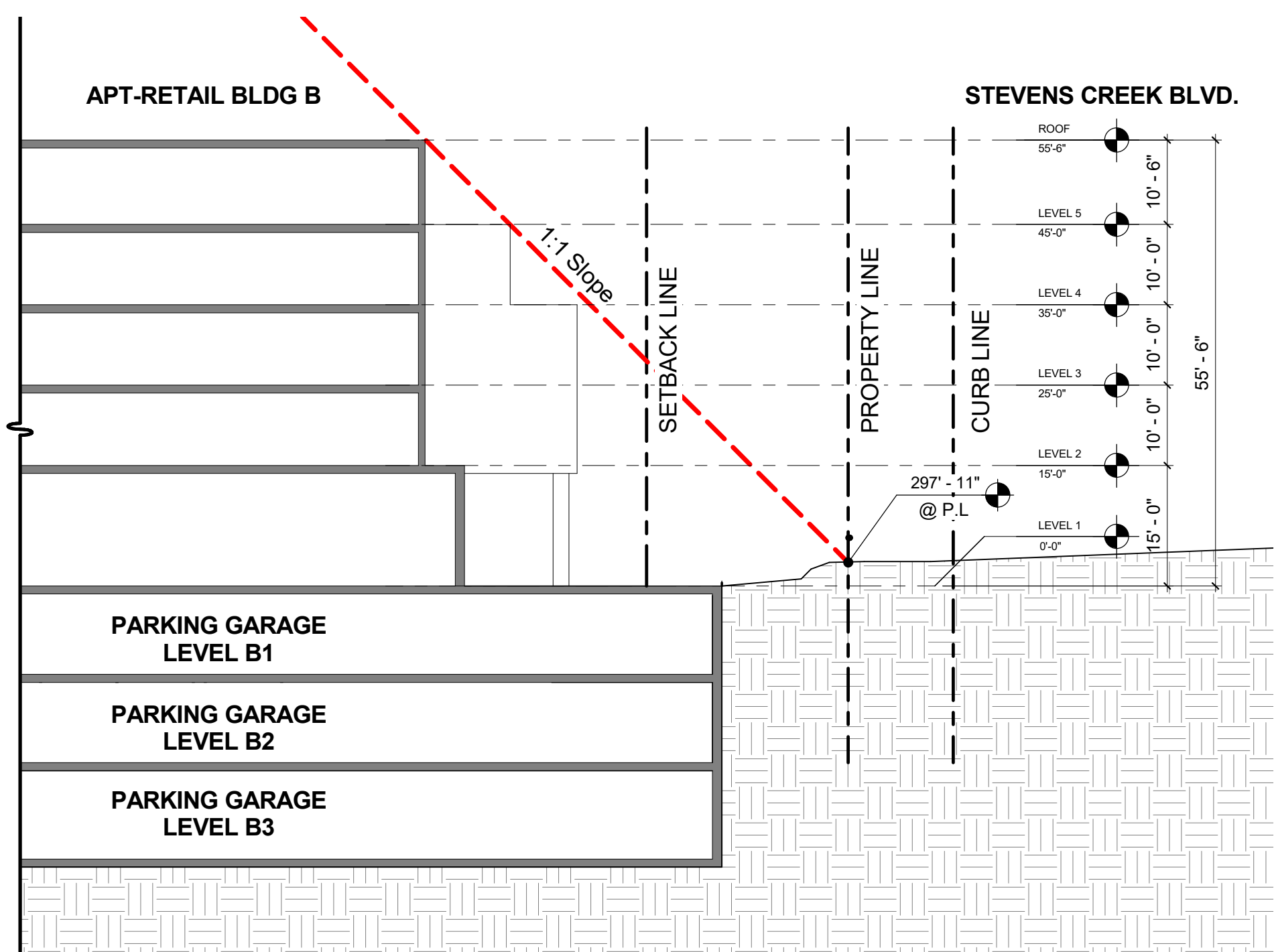
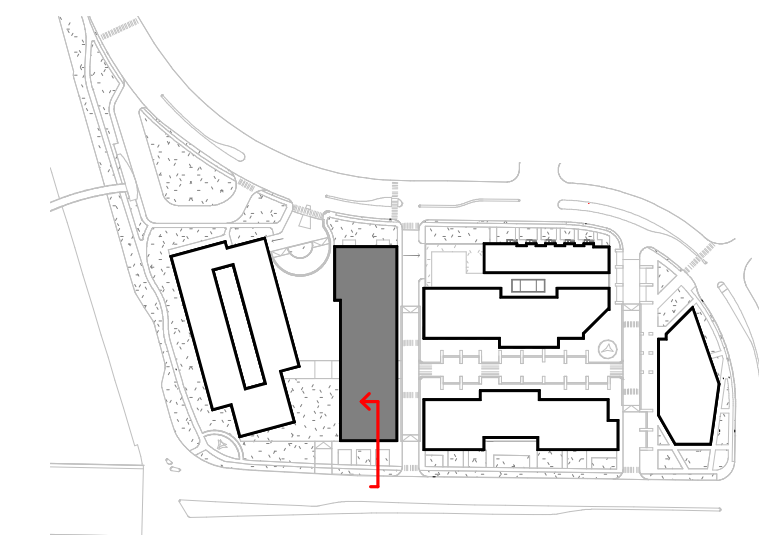
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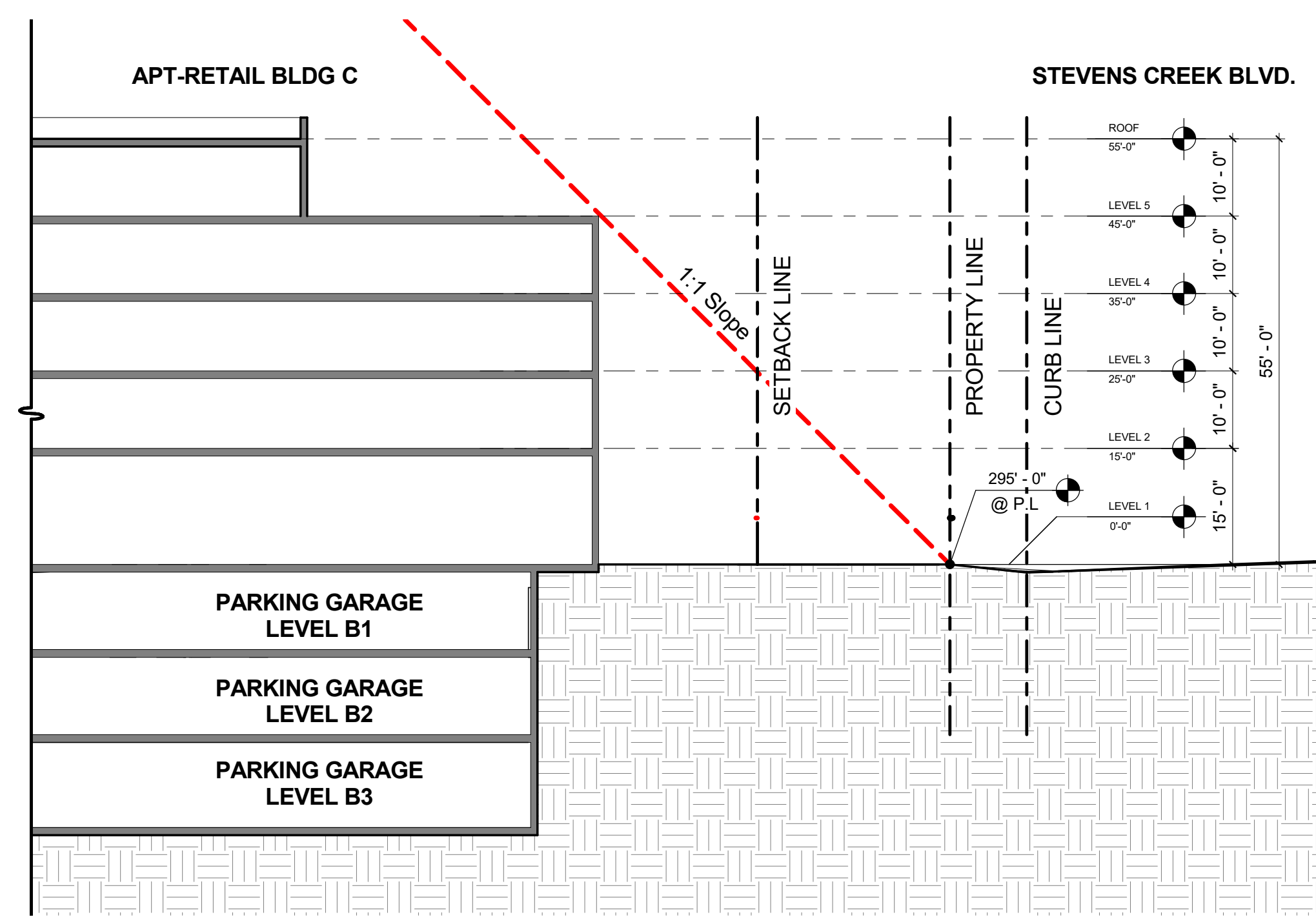
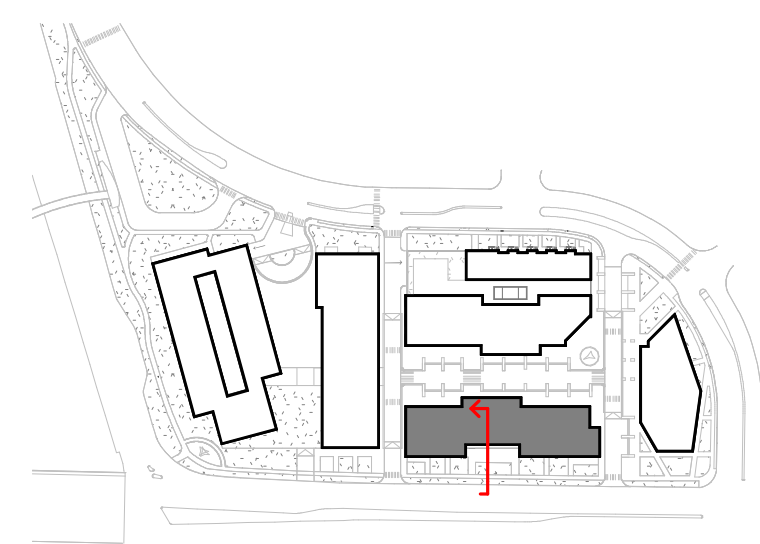
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 RES BLDG D - SLOPE SETBACK - ALTERNATIVE 1
 G.104 1/16" = 1'-0"



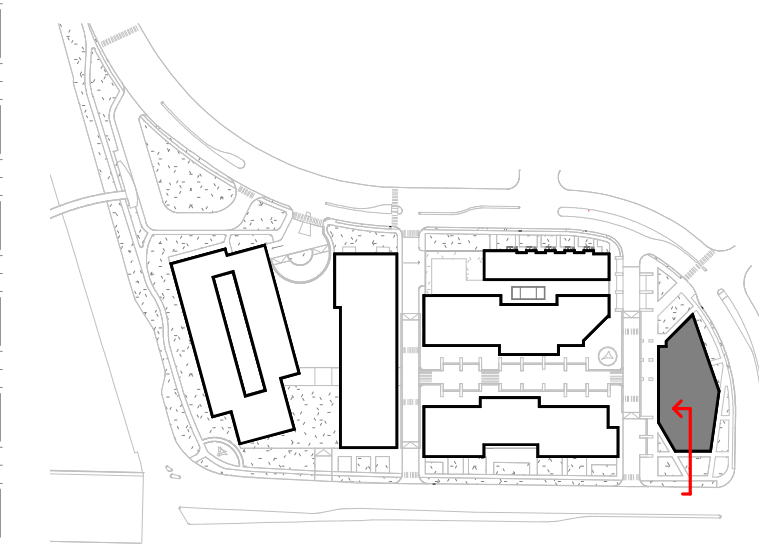
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 RES-RETAIL BLDG E - SLOPE SETBACK - ALTERNATIVE 1
 G.104 1/16" = 1'-0"



3
 RES-RETAIL BLDG B - SLOPE SETBACK - ALTERNATIVE 1
 G.104 1/16" = 1'-0"



4
 RES-RETAIL BLDG C - SLOPE SETBACK - ALTERNATIVE 1
 G.104 1/16" = 1'-0"



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503 444 2200

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 15 MAY 2017
GENERAL PLAN AMENDMENT APP
REVISIONS
MARK: DATE: DESCRIPTION:

PRELIMINARY,
NOT FOR
CONSTRUCTION

GENERAL PLAN AMENDMENT APP

SHEET TITLE:
OPEN SPACE CALCS -
ALTERNATIVE 1

SHEET NO.:
G.105

5/12/2017 2:40:01 PM

OPEN SPACE LEGEND:

- RESIDENTIAL - COMMON OPEN SPACE 42,350 SF
- RESIDENTIAL - COMMON LANDSCAPED GREEN SPACE 29,675 SF (SUBJECT OF COMMON OPEN SPACE)
- RESIDENTIAL - COMMON HARDSCAPED SPACE 12,675 SF (SUBJECT OF COMMON OPEN SPACE)
- RETAIL - COMMON OPEN SPACE 1,750 SF
- PROPOSED BIKE TRAIL
- OPEN GREEN SPACE (UNCALCULATED)

OPEN SPACE AREA CALCS:

RETAIL:
COMMON OPEN SPACE REQUIRED = 1,740 SF (2.5% OF RETAIL 69,500 GSF)
COMMON RETAIL OPEN SPACE PROVIDED = 1,750 SF

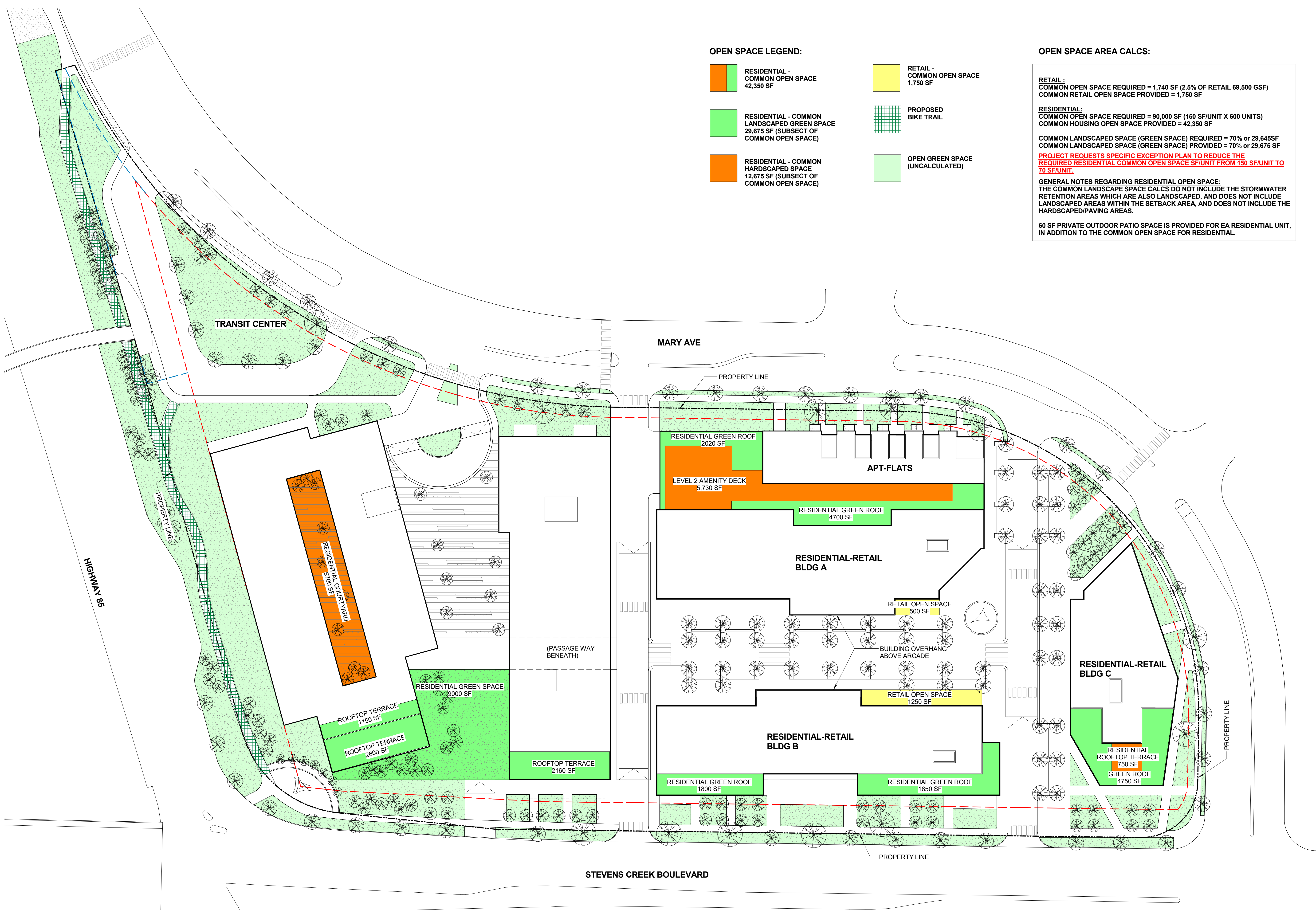
RESIDENTIAL:
COMMON OPEN SPACE REQUIRED = 90,000 SF (150 SF/UNIT X 600 UNITS)
COMMON HOUSING OPEN SPACE PROVIDED = 42,350 SF

COMMON LANDSCAPED SPACE (GREEN SPACE) REQUIRED = 70% or 29,645SF
COMMON LANDSCAPED SPACE (GREEN SPACE) PROVIDED = 70% or 29,675 SF

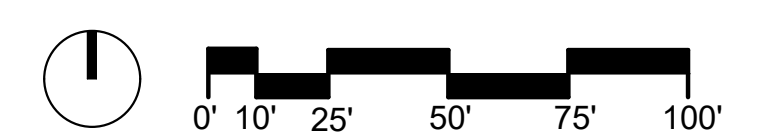
PROJECT REQUESTS SPECIFIC EXCEPTION PLAN TO REDUCE THE REQUIRED RESIDENTIAL COMMON OPEN SPACE SF/UNIT FROM 150 SF/UNIT TO 70 SF/UNIT.

GENERAL NOTES REGARDING RESIDENTIAL OPEN SPACE:
THE COMMON LANDSCAPE SPACE CALCS DO NOT INCLUDE THE STORMWATER RETENTION AREAS WHICH ARE ALSO LANDSCAPED, AND DOES NOT INCLUDE LANDSCAPED AREAS WITHIN THE SETBACK AREA, AND DOES NOT INCLUDE THE HARDSCAPED/PAVING AREAS.

60 SF PRIVATE OUTDOOR PATIO SPACE IS PROVIDED FOR EA RESIDENTIAL UNIT, IN ADDITION TO THE COMMON OPEN SPACE FOR RESIDENTIAL.

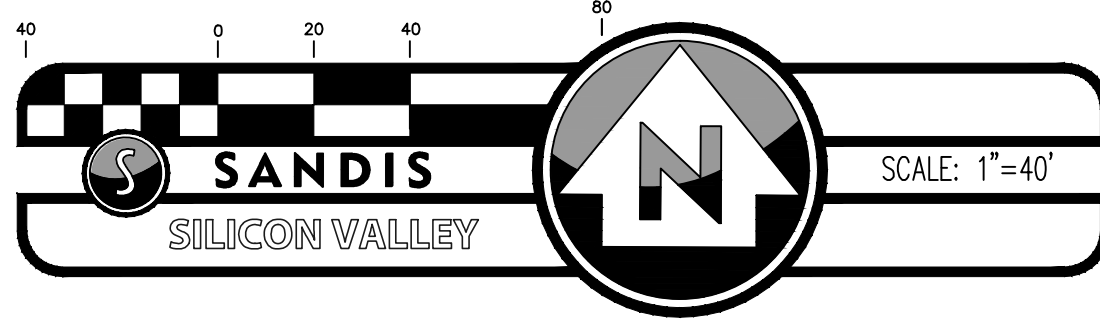


1 OPEN SPACE CALCS - ALTERNATIVE 1
G.105 1" = 40'-0"



C:\Users\elhan.taing\Documents\14148_Cake-CENTRAL_ALT_1_Elhan.taing.rvt

5/12/2017 2:40:01 PM



LEGEND

- SD STORM DRAIN LINE
- SS SANITARY SEWER LINE
- COM COMMUNICATION LINE
- WTR WATER SUPPLY LINE
- JT JOINT UTILITY TRENCH
- E ELECTRICAL LINE

SURVEY NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS FROM PRELIMINARY BOUNDARY AND TOPOGRAPHIC MAP BY CHARLES W. DAVSON CO. DATED 2-24-2015.
2. UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM FIELD OBSERVATION AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.

UTILITY/POTHOLE NOTE

THE TYPES, LOCATIONS, SIZES AND /OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND FACILITIES AND UTILITIES BY POTHOLES PRIOR TO COMMENCING CONSTRUCTION.



**CIVIL ENGINEERS
SURVEYORS
PLANNERS**

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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY
SACRAMENTO EAST BAY SF

**THE OAKS
CUPERTINO**

KT URBAN

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO.: 215085

DRAWN: NT

DATE: 16 NOVEMBER 2015

GENERAL PLAN AMENDMENT APP

REVISIONS

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GENERAL PLAN AMENDMENT APP

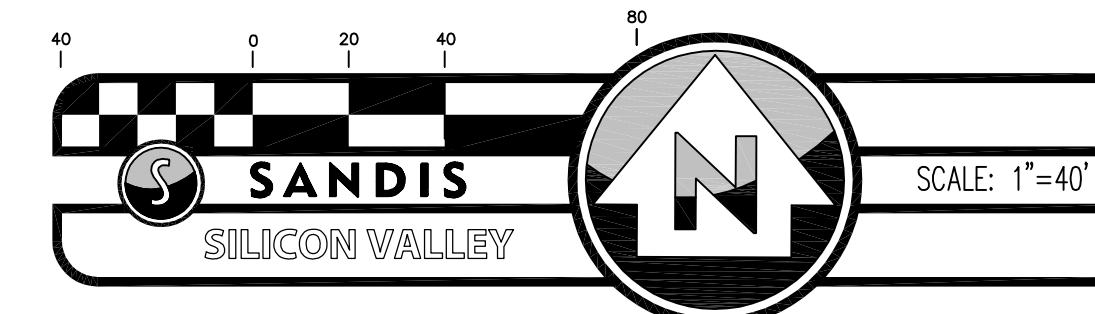
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SHEET TITLE:
**TOPOGRAPHIC
SURVEY**

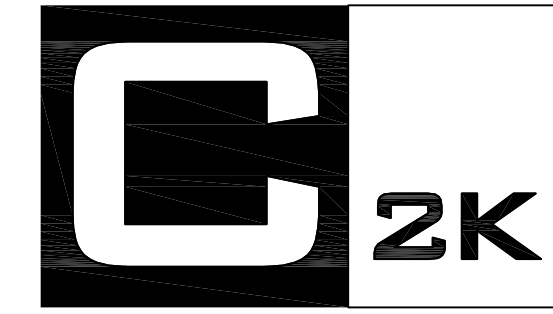
SHEET NO.:

C.001



LEGEND

- VEHICULAR AREA
- LANDSCAPE AREA
- BUILDING OUTLINE
- LIMIT OF UNDERGROUND GARAGE
- PROPERTY LINE
- RIGHT-OF-WAY DEDICATION
- SD STORM DRAIN LINE
- SS SANITARY SEWER LINE
- DW WATER SUPPLY LINE
- FW FIRE WATER LINE



ARCHITECTURE INC
 1645 NW HOYT ST
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 503 444 2200

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SILICON VALLEY TRI-VALLEY
 CENTRAL VALLEY EAST BAY/5F

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK
 BLVD, CUPERTINO, CA

PROJECT NO.: 14148
 DRAWN: SHS
 DATE: 15 MAY 2017
 GENERAL PLAN AMENDMENT APP

REVISIONS
 MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

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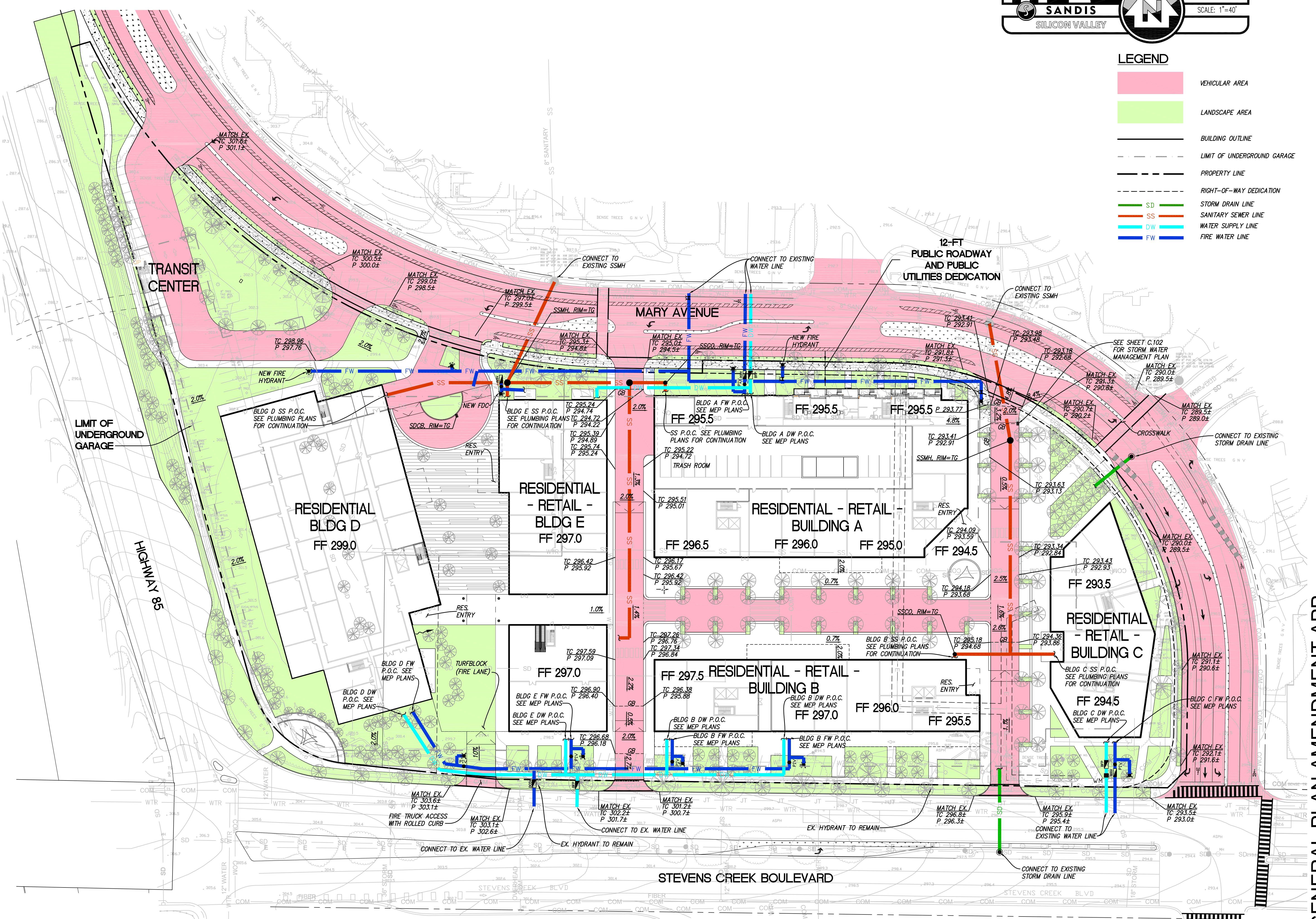
SHEET TITLE:
**GRADING, DRAINAGE
 AND UTILITY PLAN -
 ALTERNATIVE 1**

SHEET NO.:

C.101

5/3/2017 4:06:38 PM

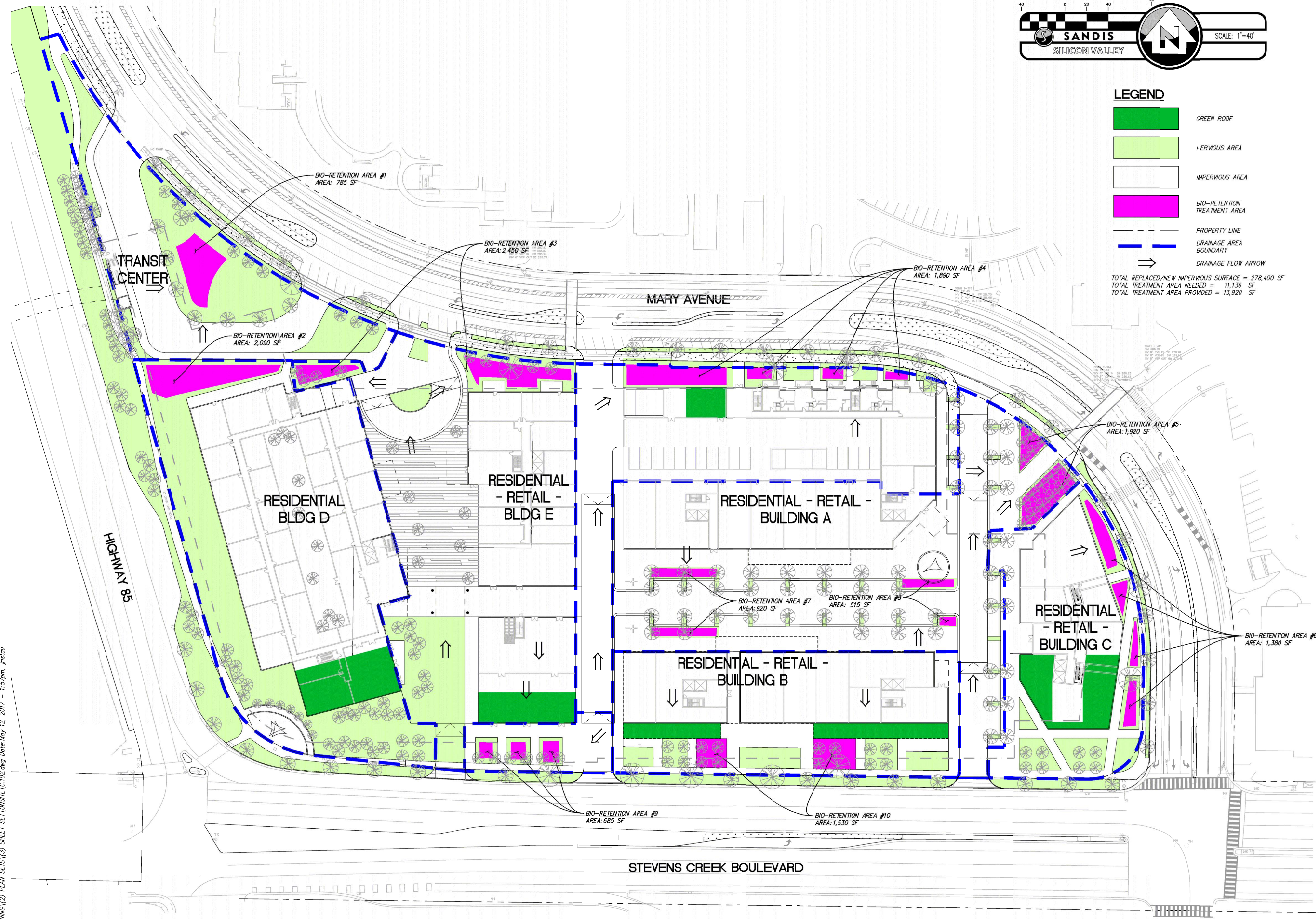
File: X:\P\215095\4\ ENGINEERING\2\ PLAN SETS\3\ SHEET SET\ON SITE\C.101.dwg Date: May 12, 2017 - 1:57pm, jstau



LEGEND

- GREEN ROOF
- PERVIOUS AREA
- IMPERVIOUS AREA
- BIO-RETENTION TREATMENT AREA
- PROPERTY LINE
- DRAINAGE AREA BOUNDARY
- DRAINAGE FLOW ARROW

TOTAL REPLACED/NEW IMPERVIOUS SURFACE = 278,400 SF
 TOTAL TREATMENT AREA NEEDED = 11,136 SF
 TOTAL TREATMENT AREA PROVIDED = 13,920 SF



ARCHITECTURE INC
 1645 NW HOYT ST
 PORTLAND OREGON 97209
 503 444 2200



**SILICON VALLEY TRI-VALLEY
 CENTRAL VALLEY EAST BAY/SF**

**WESTPORT
 CUPERTINO**

KT Urban
 21267 STEVENS CREEK
 BLVD, CUPERTINO, CA

PROJECT NO.: 14143
 DRAWN: SHS
 DATE: 15 MAY 2017
 GENERAL PLAN AMENDMENT APP

REVISIONS
 MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

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SHEET TITLE:
**STORMWATER
 MANAGEMENT PLAN -
 ALTERNATE 1**

SHEET NO.:
C.102

5/3/2017 4:06:36 PM



ARCHITECTURE INC
1645 NW HOYT ST
PORTLAND OREGON 97209
503 444 2200

PLACE

735 NW 18TH AVE
PORTLAND, OR 97209
(503) 334 2080

WESTPORT CUPERTINO

KT Urban

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148

DRAWN: CSM / MCS

DATE: 15 MAY 2017

GENERAL PLAN AMENDMENT APP

REVISIONS

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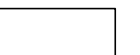

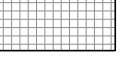

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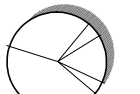

SHEET TITLE:
LANDSCAPE PLAN
ALTERNATIVE 1

SHEET NO.:

L.101

KEY

-  Landscape Zones
 -  Asphalt Pavement
 -  Scored Concrete Pavement
 -  Concrete Unit Pavers
 -  Concrete Sidewalk Pavement
- Landscape area: 69,362 Sq Ft
- Hardscape area: 135,336 Sq Ft

-  Existing Trees (21)
-  Proposed Trees (295)



1 LANDSCAPE PLAN - ALTERNATIVE 1
L.101 1" = 40'-0"

