



1645 NW HOYT ST  
 PORTLAND OREGON 97209  
 503 444 2200

**PLACE**  
 735 NW 18TH AVE  
 PORTLAND, OR 97209  
 (503) 334 2080

# WESTPORT CUPERTINO

KT Urban

**21267 STEVENS CREEK  
 BLVD, CUPERTINO, CA**

PROJECT NO.: 14148  
 DRAWN: CSM / MCS  
 DATE: 14 SEPTEMBER 2017  
 GENERAL PLAN AMENDMENT APP

REVISIONS  
 MARK: DATE: DESCRIPTION:

GENERAL PLAN AMENDMENT APP

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SHEET TITLE:  
**LANDSCAPE  
 PRELIMINARY PLANTING PLAN**

SHEET NO.:  
**L.202**





**GENERAL NOTES - SITE PLAN**

1. SEE PROJECT SUMMARY SHEET G.202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G.203 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G.205 FOR OPEN SPACE CALCS.
4. SEE SHEET A.203 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA CALCULATIONS AND INFO.



**ARCHITECTURE INC**  
 1645 NW HOYT ST  
 PORTLAND OREGON 97209  
 503 444 2200

**WESTPORT  
 CUPERTINO**

KT Urban

**21267 STEVENS  
 CREEK BLVD,  
 CUPERTINO, CA**

PROJECT NO.: 14148  
 DRAWN: SHS  
 DATE: 14 SEPTEMBER 2017  
 GENERAL PLAN AMENDMENT APP

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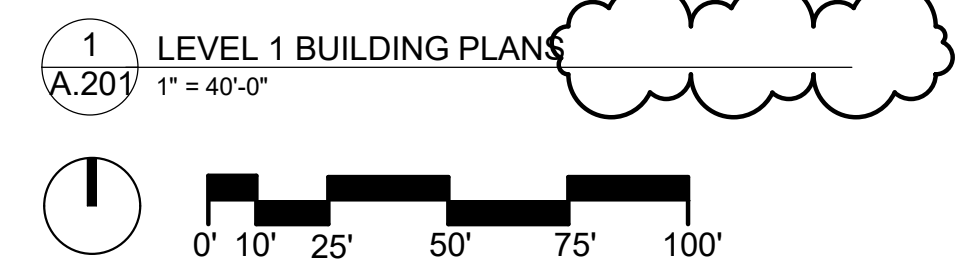
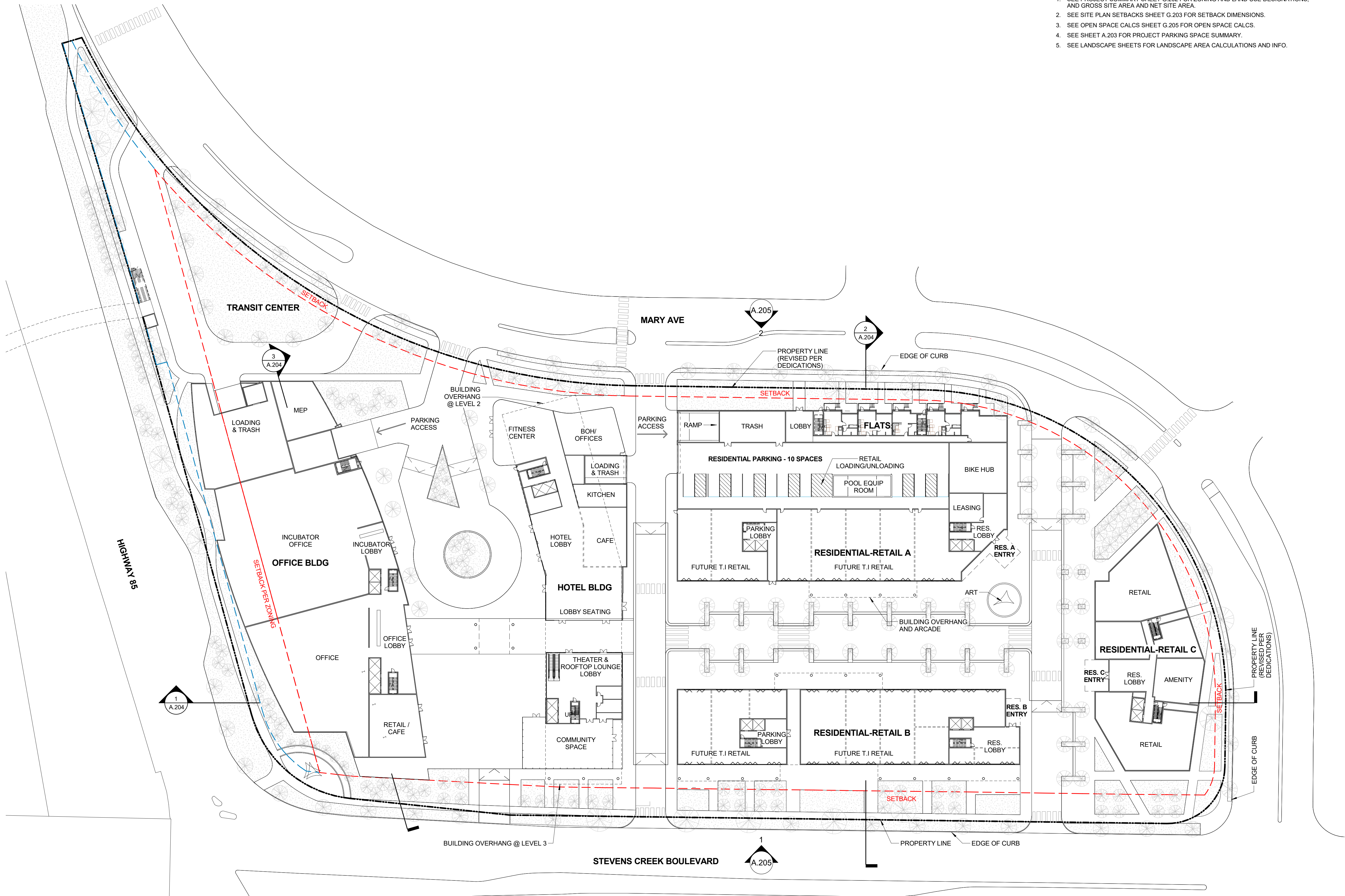
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SHEET TITLE:  
**LEVEL 1 BUILDING PLANS**

SHEET NO.:  
**A.201**

9/13/2017 2:41:20 PM



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9/13/2017 2:41:20 PM



**GENERAL NOTES - SITE PLAN**

1. SEE PROJECT SUMMARY SHEET G.202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G.203 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G.205 FOR OPEN SPACE CALCS.
4. SEE SHEET A.203 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA CALCULATIONS AND INFO.



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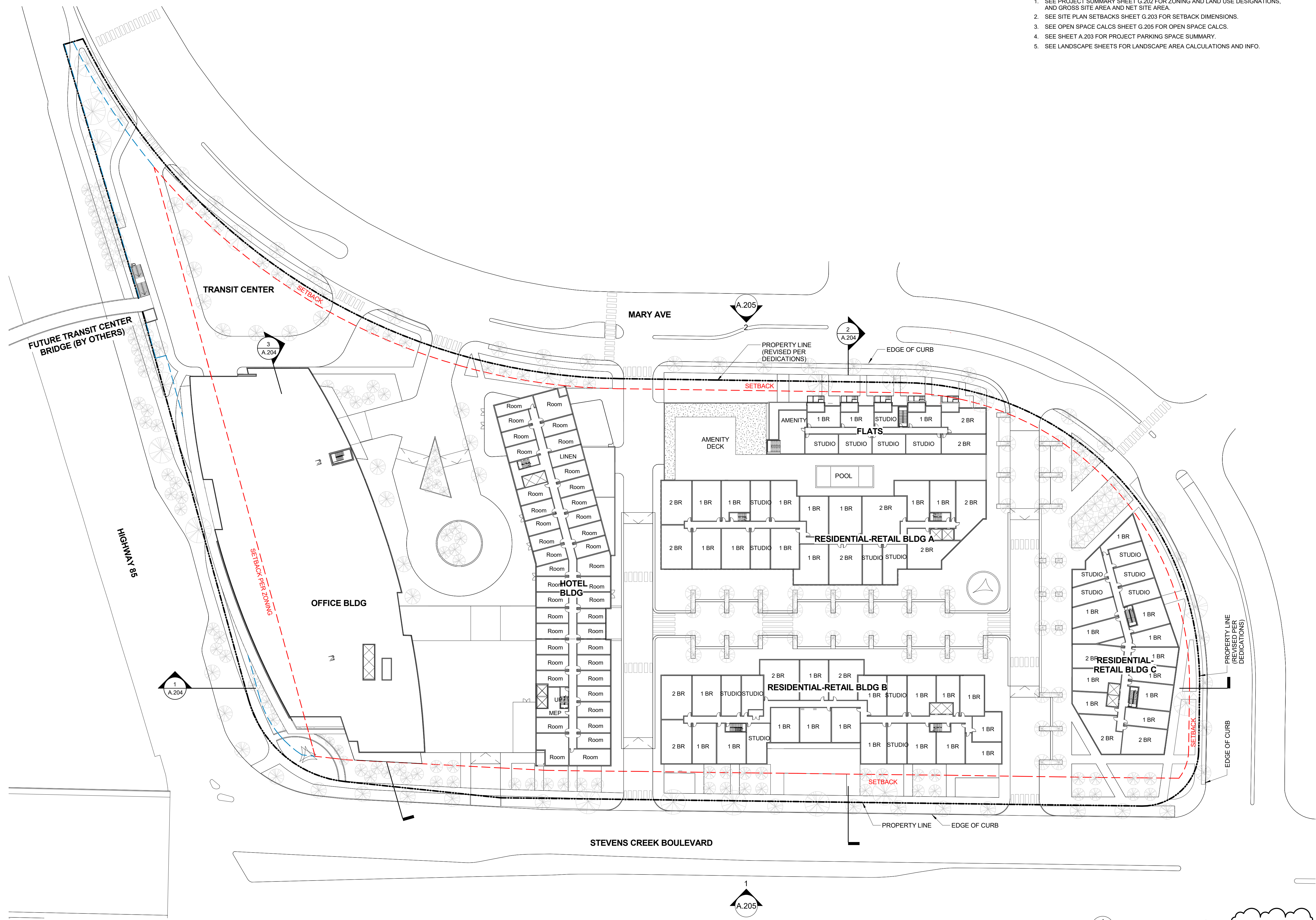
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SHEET TITLE:  
**UPPER LEVEL BUILDING PLANS (TYP. PLAN)**

SHEET NO.:

**A.202**

9/13/2017 2:41:22 PM



1 UPPER LEVEL BUILDING PLANS  
 A.202 1" = 40'-0"

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SHEET TITLE:  
PARKING GARAGE BUILDING PLANS (TYP. PLAN)

SHEET NO.:

**A.203**

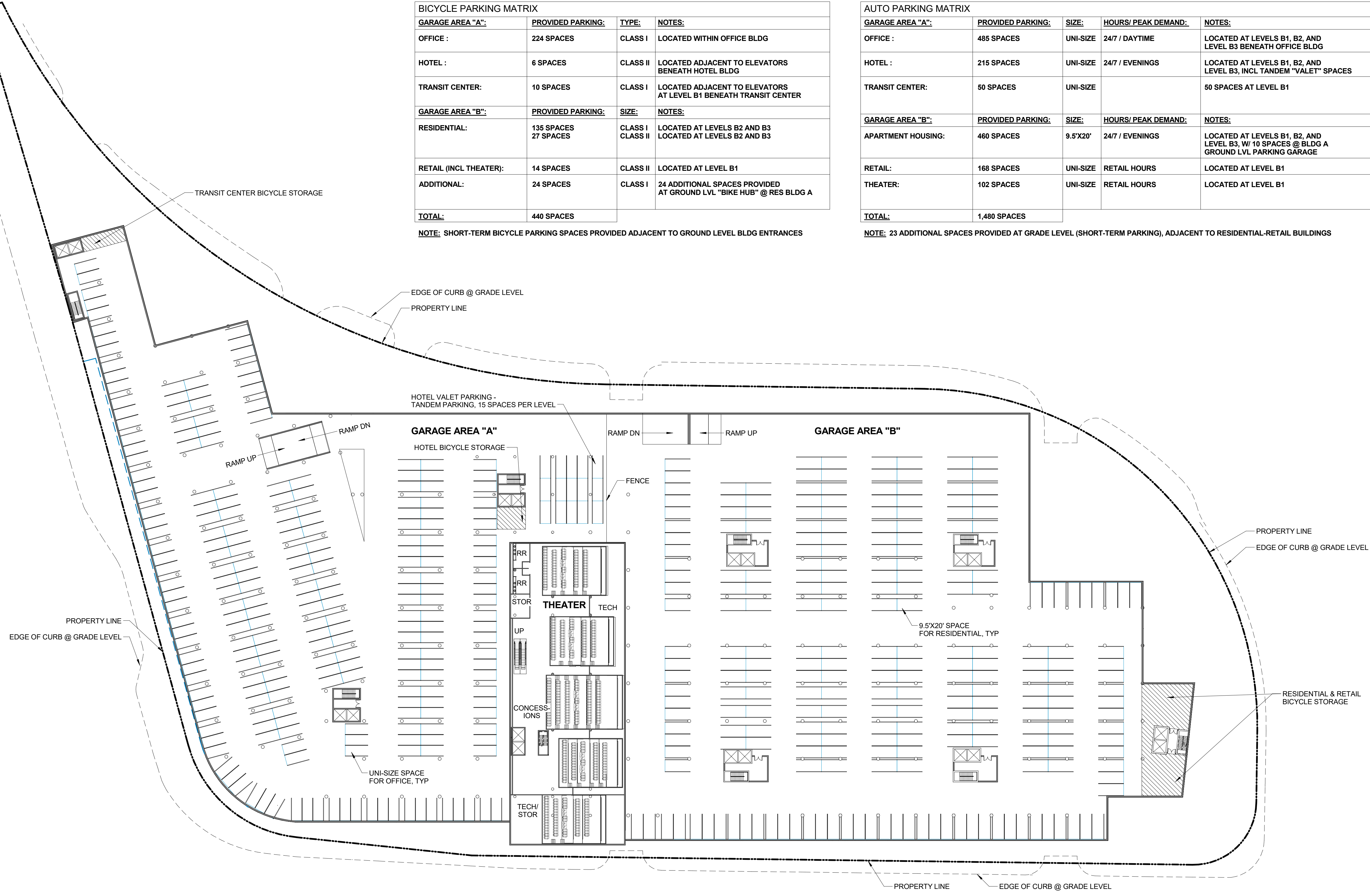
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BICYCLE PARKING MATRIX			
GARAGE AREA "A":	PROVIDED PARKING:	TYPE:	NOTES:
OFFICE :	224 SPACES	CLASS I	LOCATED WITHIN OFFICE BLDG
HOTEL :	6 SPACES	CLASS II	LOCATED ADJACENT TO ELEVATORS BENEATH HOTEL BLDG
TRANSIT CENTER:	10 SPACES	CLASS I	LOCATED ADJACENT TO ELEVATORS AT LEVEL B1 BENEATH TRANSIT CENTER
GARAGE AREA "B":	PROVIDED PARKING:	SIZE:	NOTES:
RESIDENTIAL:	135 SPACES 27 SPACES	CLASS I CLASS II	LOCATED AT LEVELS B2 AND B3 LOCATED AT LEVELS B2 AND B3
RETAIL (INCL THEATER):	14 SPACES	CLASS II	LOCATED AT LEVEL B1
ADDITIONAL:	24 SPACES	CLASS I	24 ADDITIONAL SPACES PROVIDED AT GROUND LVL "BIKE HUB" @ RES BLDG A
<b>TOTAL:</b>	<b>440 SPACES</b>		

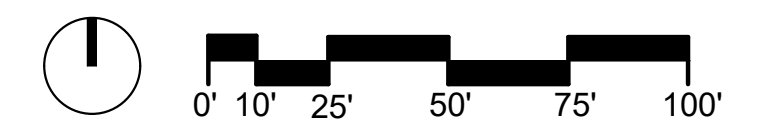
NOTE: SHORT-TERM BICYCLE PARKING SPACES PROVIDED ADJACENT TO GROUND LEVEL BLDG ENTRANCES

AUTO PARKING MATRIX				
GARAGE AREA "A":	PROVIDED PARKING:	SIZE:	HOURS/ PEAK DEMAND:	NOTES:
OFFICE :	485 SPACES	UNI-SIZE	24/7 / DAYTIME	LOCATED AT LEVELS B1, B2, AND LEVEL B3 BENEATH OFFICE BLDG
HOTEL :	215 SPACES	UNI-SIZE	24/7 / EVENINGS	LOCATED AT LEVELS B1, B2, AND LEVEL B3, INCL TANDEM "VALET" SPACES
TRANSIT CENTER:	50 SPACES	UNI-SIZE		50 SPACES AT LEVEL B1
GARAGE AREA "B":	PROVIDED PARKING:	SIZE:	HOURS/ PEAK DEMAND:	NOTES:
APARTMENT HOUSING:	460 SPACES	9.5'X20'	24/7 / EVENINGS	LOCATED AT LEVELS B1, B2, AND LEVEL B3, W/ 10 SPACES @ BLDG A GROUND LVL PARKING GARAGE
RETAIL:	168 SPACES	UNI-SIZE	RETAIL HOURS	LOCATED AT LEVEL B1
THEATER:	102 SPACES	UNI-SIZE	RETAIL HOURS	LOCATED AT LEVEL B1
<b>TOTAL:</b>	<b>1,480 SPACES</b>			

NOTE: 23 ADDITIONAL SPACES PROVIDED AT GRADE LEVEL (SHORT-TERM PARKING), ADJACENT TO RESIDENTIAL-RETAIL BUILDINGS



1 PARKING GARAGE BUILDING PLANS  
A.203 1" = 40'-0"



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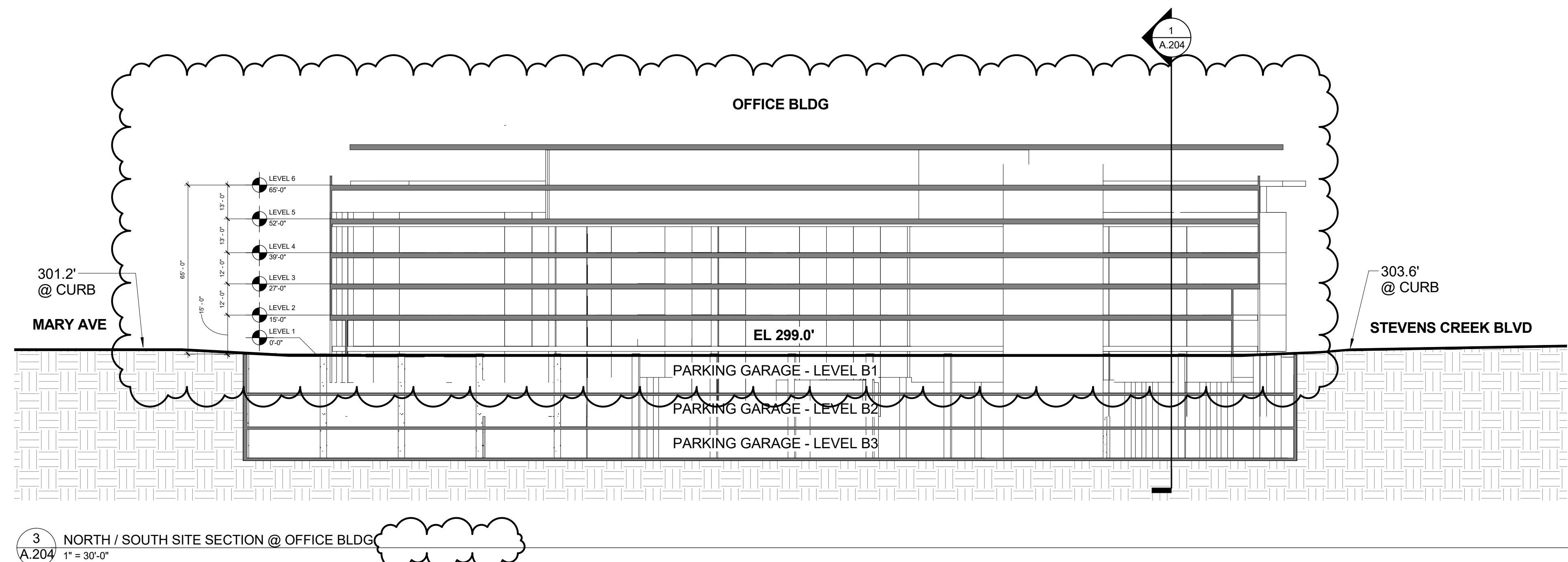
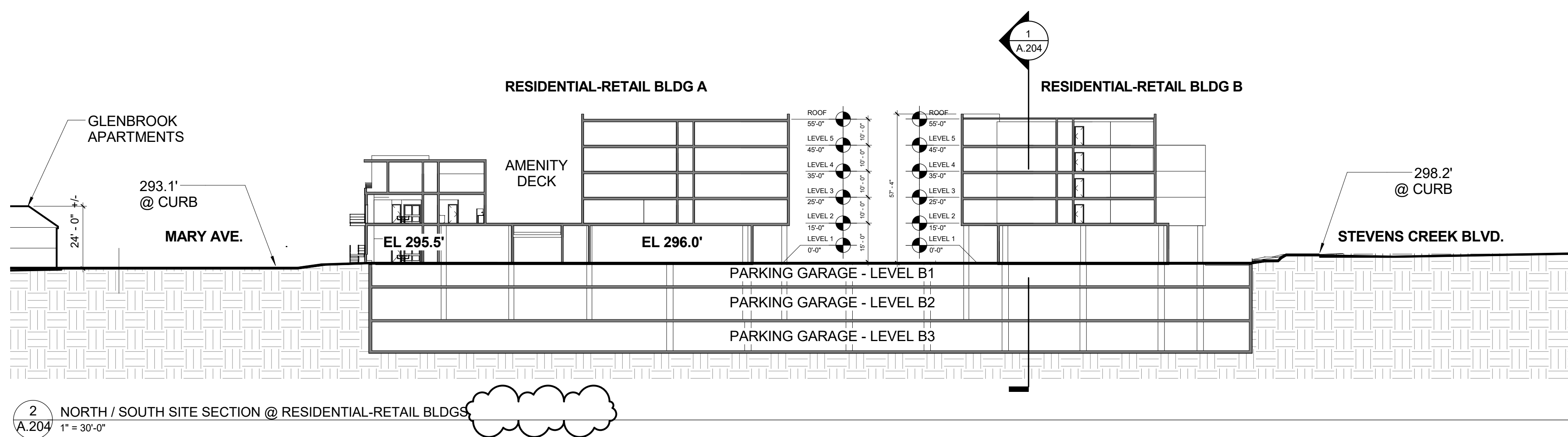
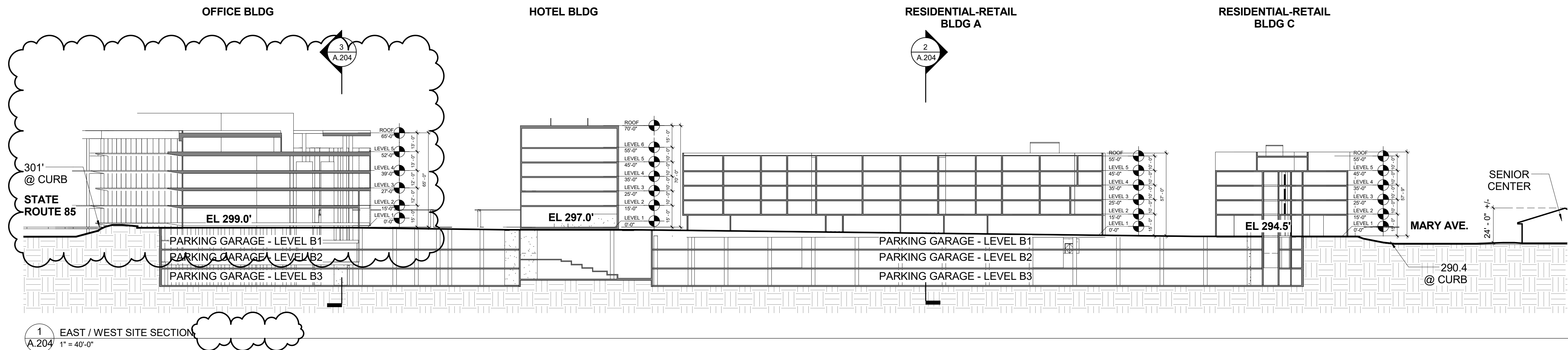
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SHEET TITLE:  
SITE SECTIONS

SHEET NO.:

# A.204

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# WESTPORT CUPERTINO

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**21267 STEVENS  
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**GENERAL PLAN AMENDMENT APP**

SHEET TITLE:  
STREET ELEVATIONS

SHEET NO.:  
**A.205**

9/13/2017 2:41:35 PM



OFFICE

HOTEL

RESIDENTIAL / RETAIL B

RESIDENTIAL / RETAIL C

1 STEVENS CREEK BLVD. STREET ELEVATION  
 A.205 1" = 40'-0"



RESIDENTIAL / RETAIL C

RESIDENTIAL / RETAIL A

HOTEL

OFFICE

2 MARY AVE. STREET ELEVATION  
 A.205 1" = 40'-0"

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OFFICE PRECEDENTS



HOTEL PRECEDENTS



HOUSING PRECEDENTS



**WESTPORT  
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SHEET TITLE:  
 TYPOLOGICAL PRECEDENTS

SHEET NO.:  
**A.206**

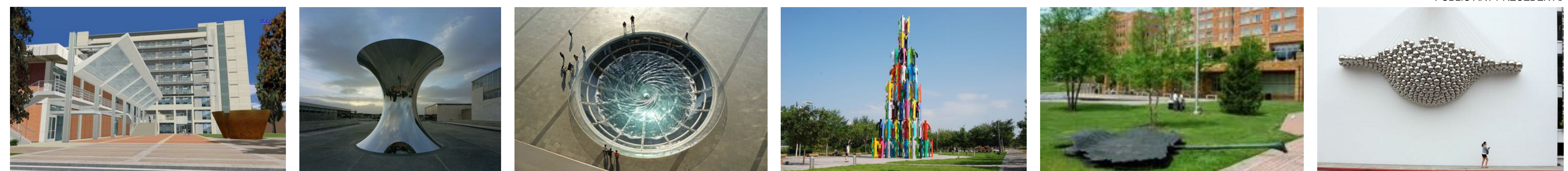
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PEDESTRIAN PLAZA PRECEDENTS



PUBLIC ART PRECEDENTS



TRANSIT CENTER PRECEDENTS



CINEMA PRECEDENTS

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SHEET TITLE:  
TYPOLOGICAL PRECEDENTS

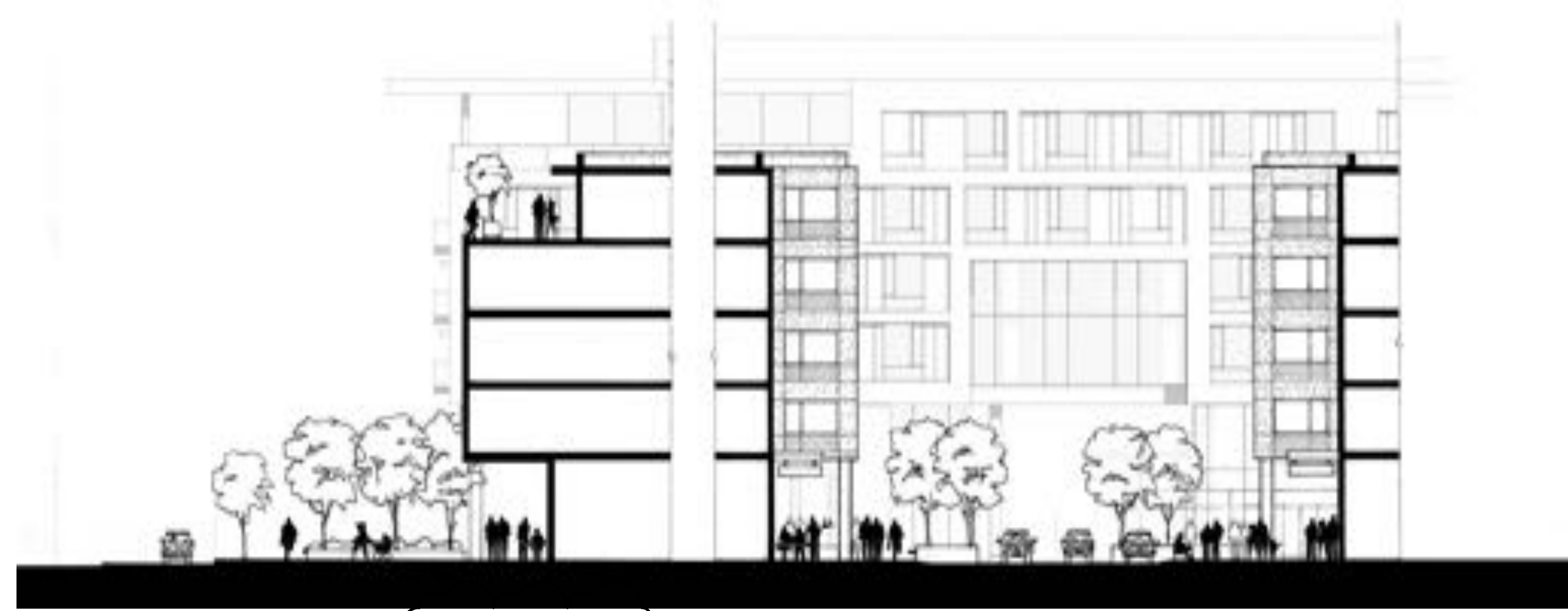
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**A.207**

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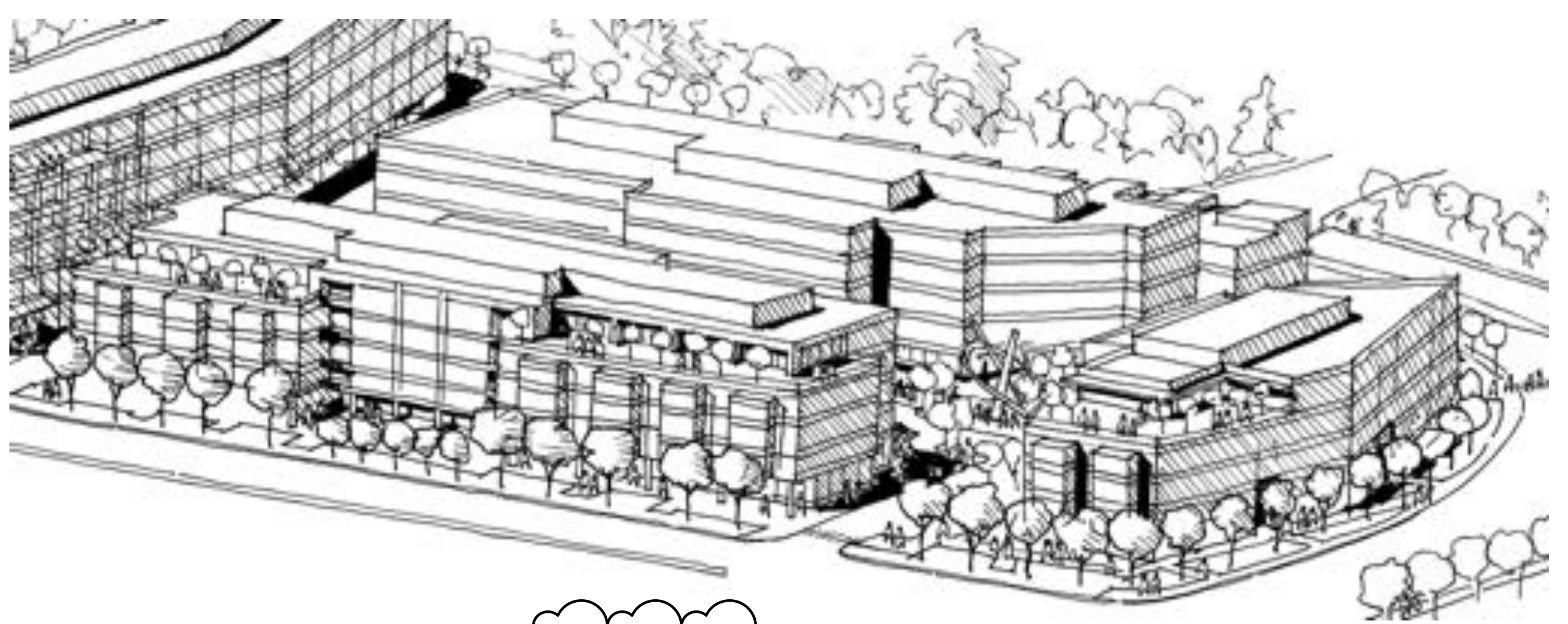
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RETAIL BLVD. PRECEDENTS



2 RESIDENTIAL-RETAIL SITE SECTION  
A.208 NO SCALE



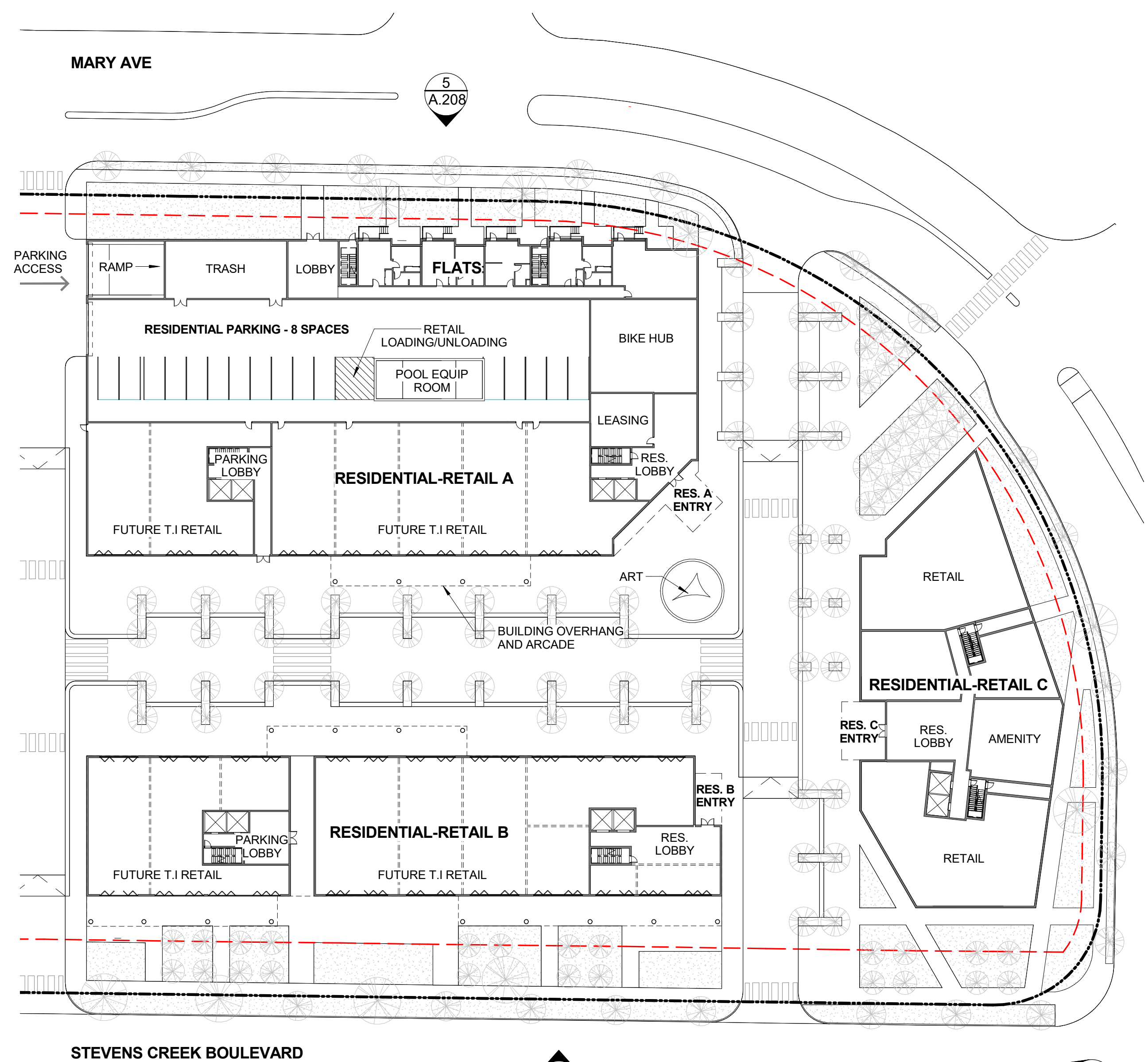
3 RESIDENTIAL-RETAIL - STEVENS CREEK BLVD.  
A.208 NO SCALE



4 RESIDENTIAL-RETAIL ELEVATION - STEVENS CREEK BLVD.  
A.208 NO SCALE



5 RESIDENTIAL-RETAIL ELEVATION MARY AVE.  
A.208 NO SCALE



1 RESIDENTIAL-RETAIL LEVEL 1 PLANS  
A.208 1" = 40'-0"



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**WESTPORT  
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SHEET TITLE:  
**RESIDENTIAL-RETAIL BUILDINGS**

SHEET NO.:  
**A.208**

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2 HOTEL - MARY AVE  
A.209 NO SCALE

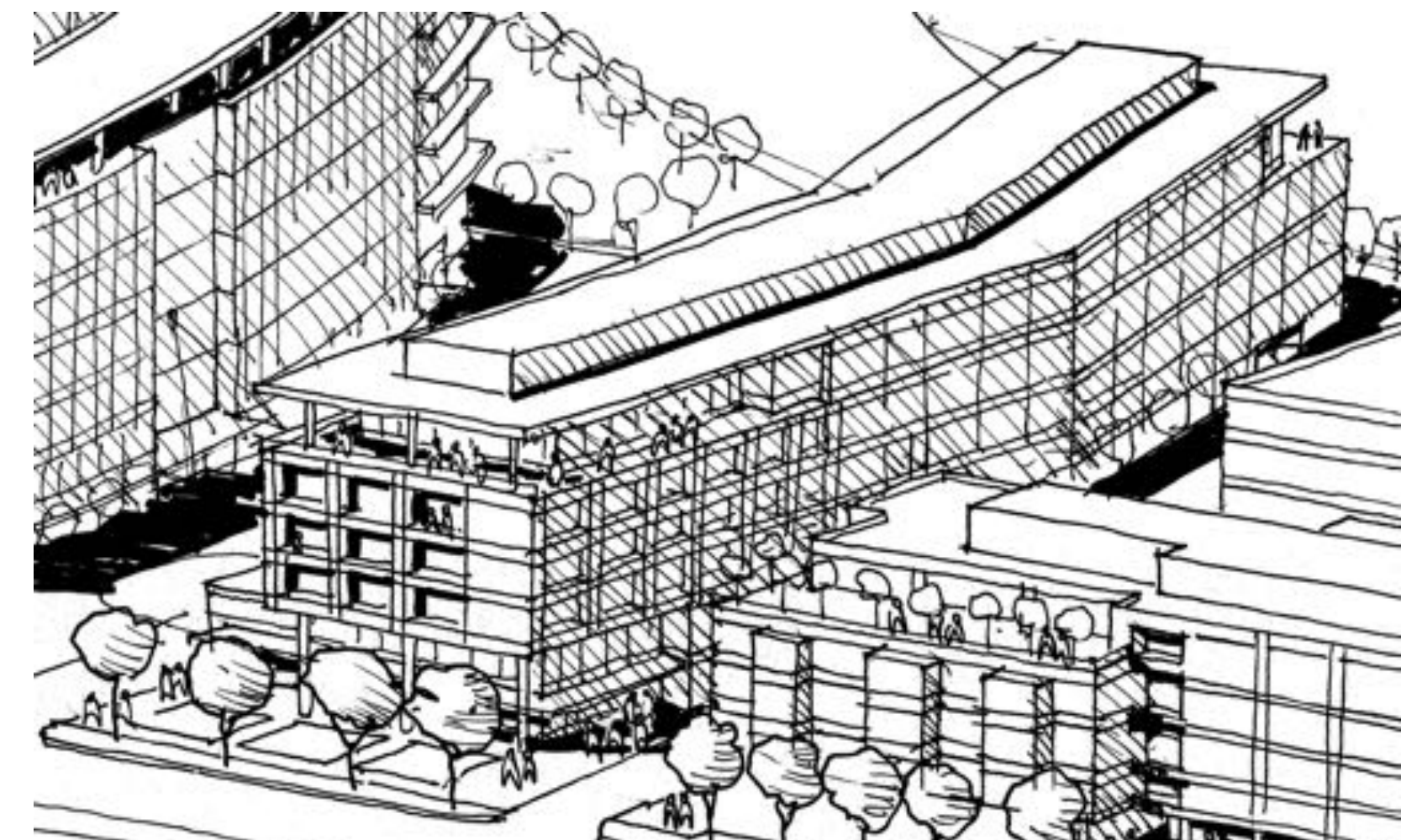


3 HOTEL - STEVENS CREEK BLVD  
A.209 NO SCALE

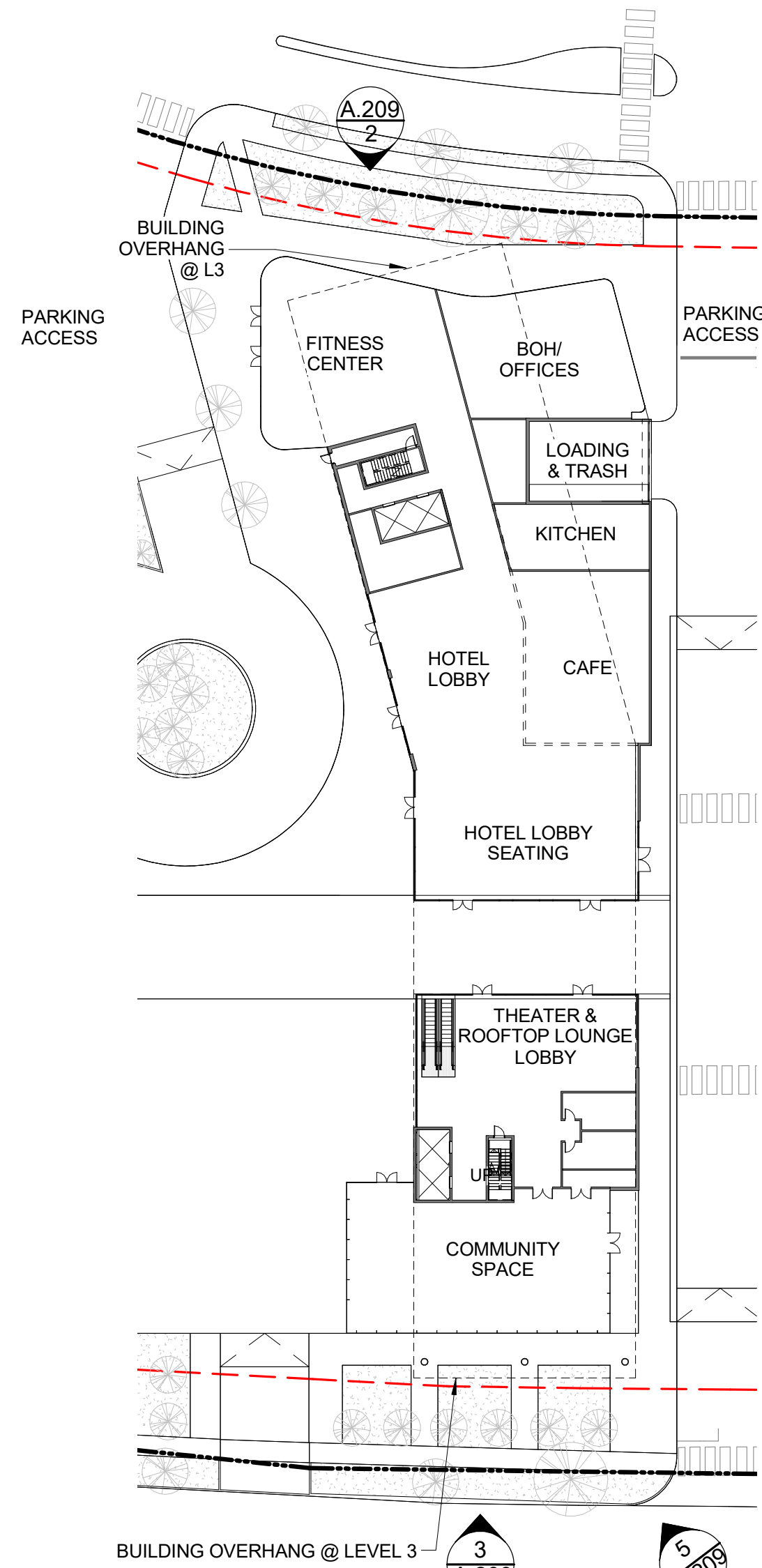
HOTEL PRECEDENTS



4 HOTEL - INTERIOR STREET  
A.209 NO SCALE



5 HOTEL - STEVENS CREEK BLVD  
A.209 NO SCALE



1 HOTEL BLDG LEVEL 1 PLAN  
A.209 1" = 40'-0"

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SHEET TITLE:  
HOTEL BUILDING

SHEET NO.:  
**A.209**

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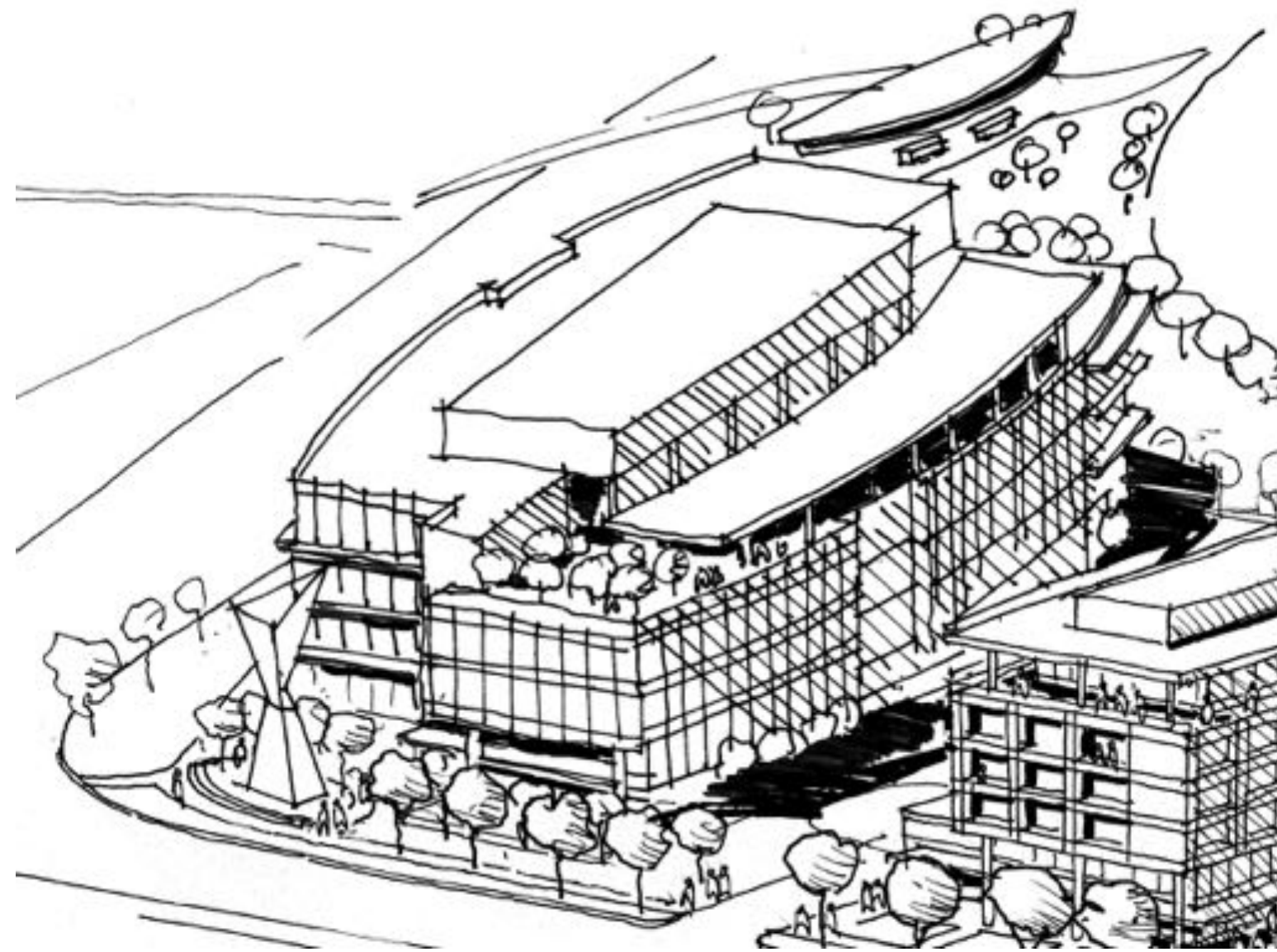
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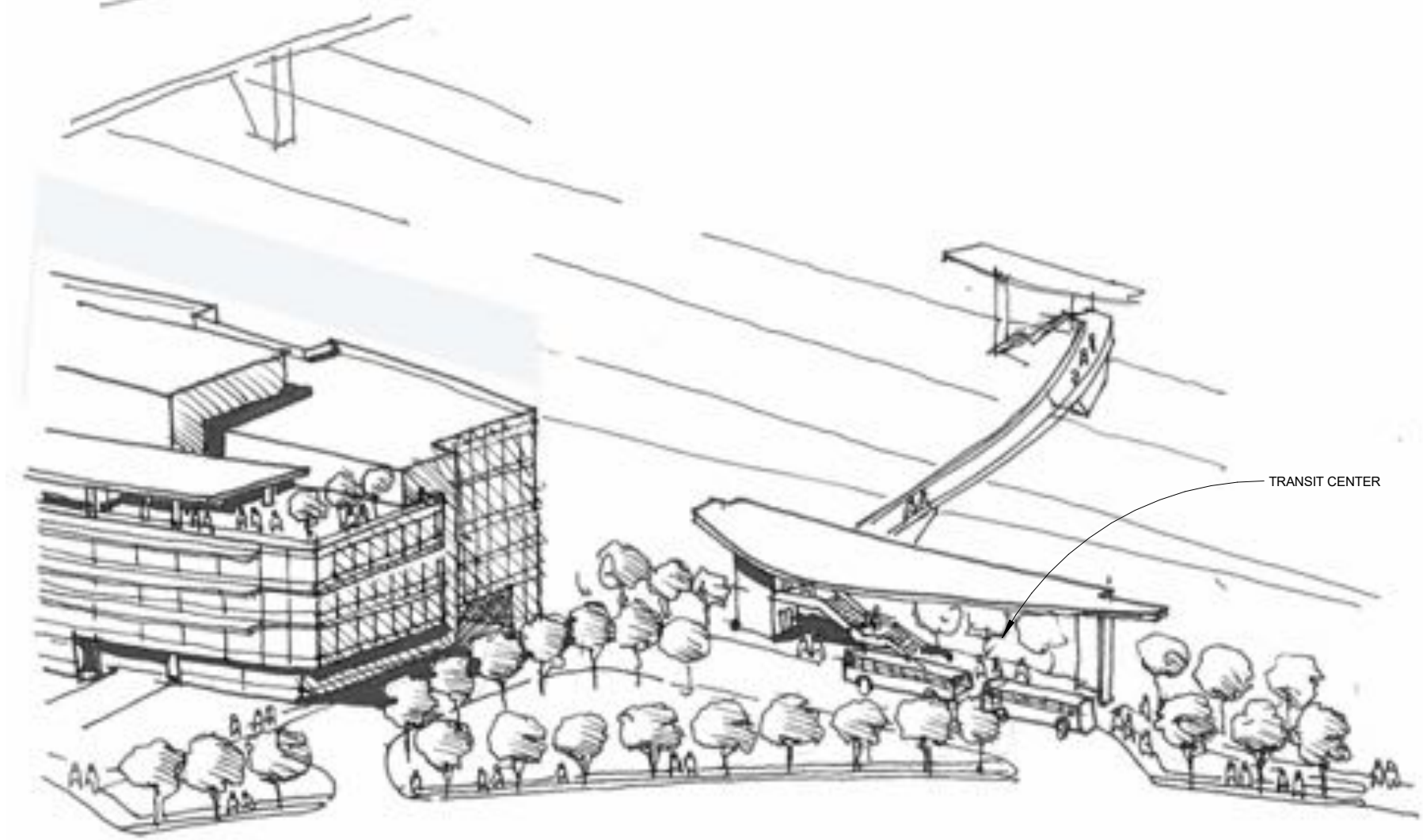
SHEET TITLE:  
 OFFICE BUILDING

SHEET NO.:  
**A.210**

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2 OFFICE BUILDING - STEVENS CREEK BLVD & SR-85  
 A.210 NO SCALE



3 OFFICE / TRANSIT CENTER  
 A.210 NO SCALE

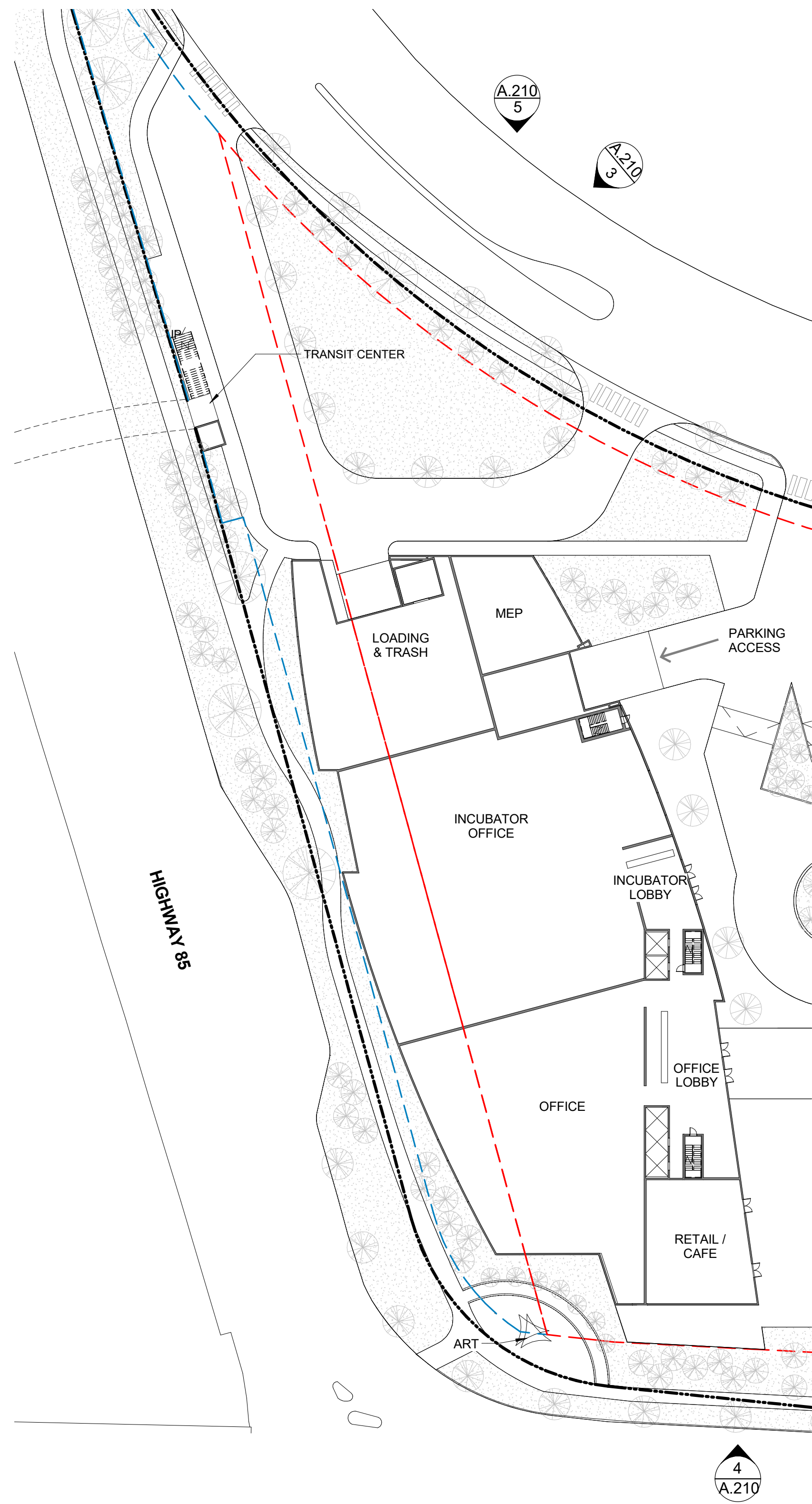


4 OFFICE BUILDING ELEVATION - STEVENS CREEK BLVD & SR-85  
 A.210 NO SCALE



5 OFFICE BUILDING ELEVATION - MARY AVENUE  
 A.210 NO SCALE

OFFICE PRECEDENTS



1 OFFICE BLDG LEVEL 1 PLAN  
 A.210 1" = 40'-0"

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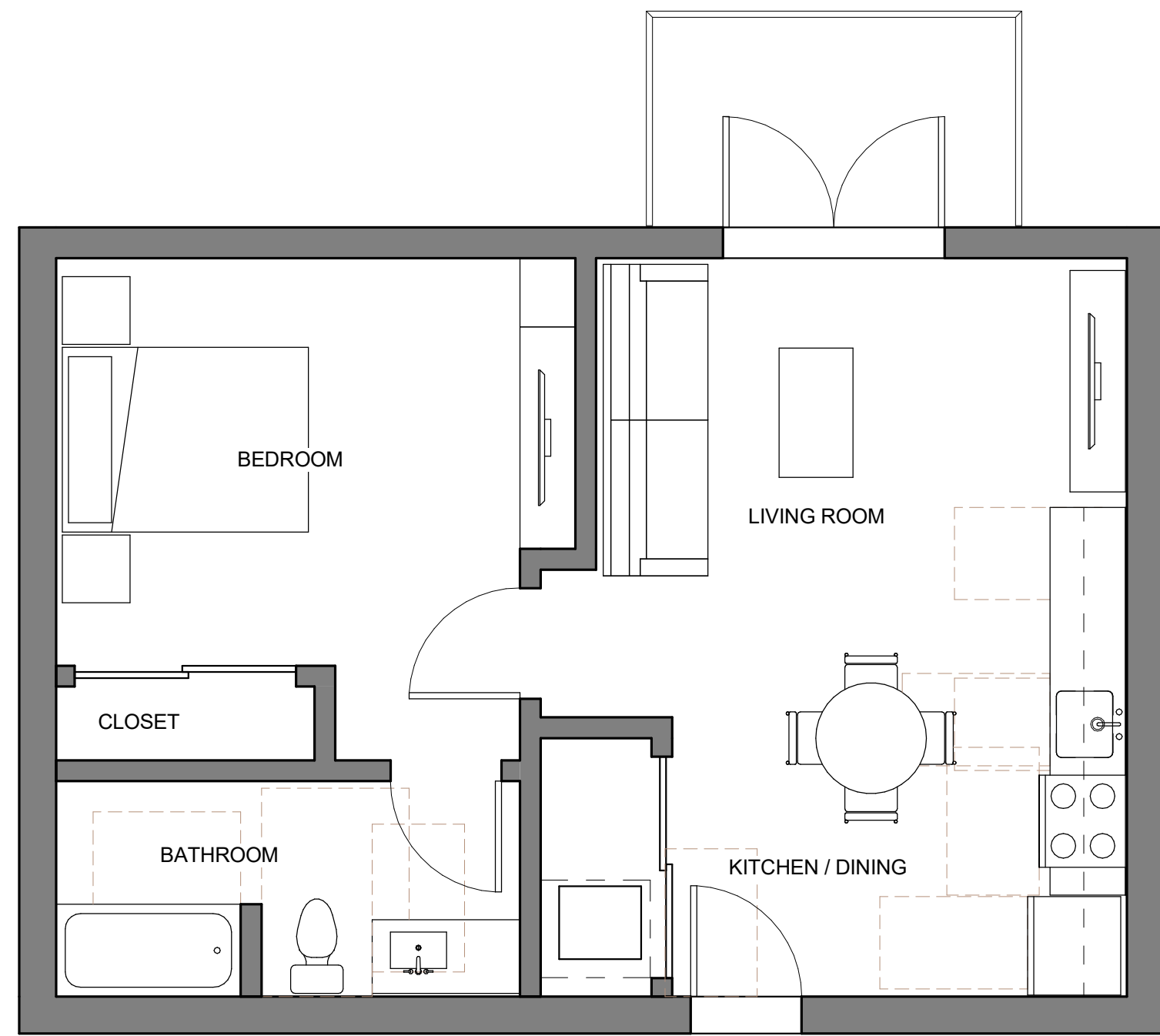
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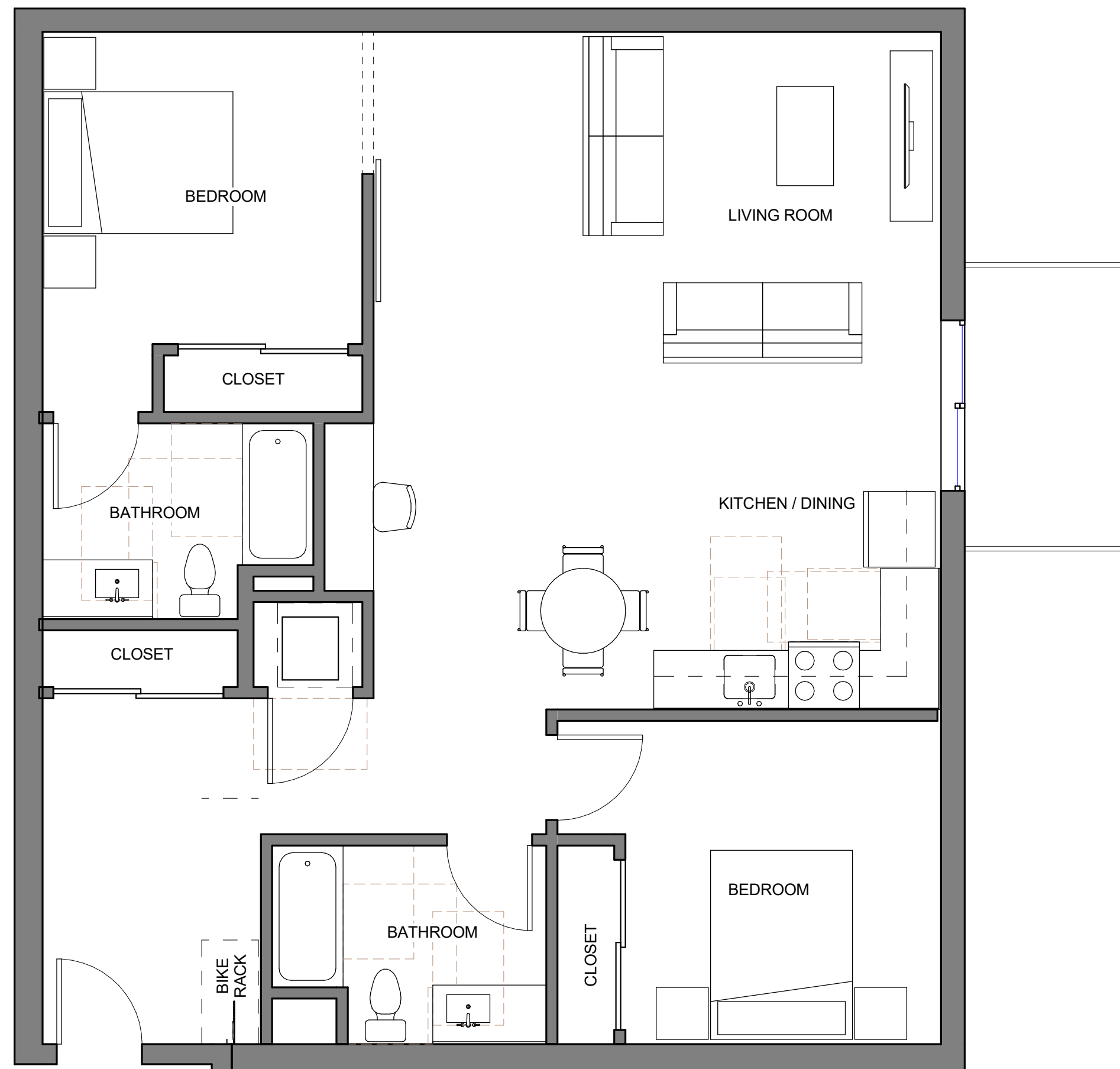
SHEET TITLE:  
ENLARGED UNIT PLANS

SHEET NO.:  
**A.211**

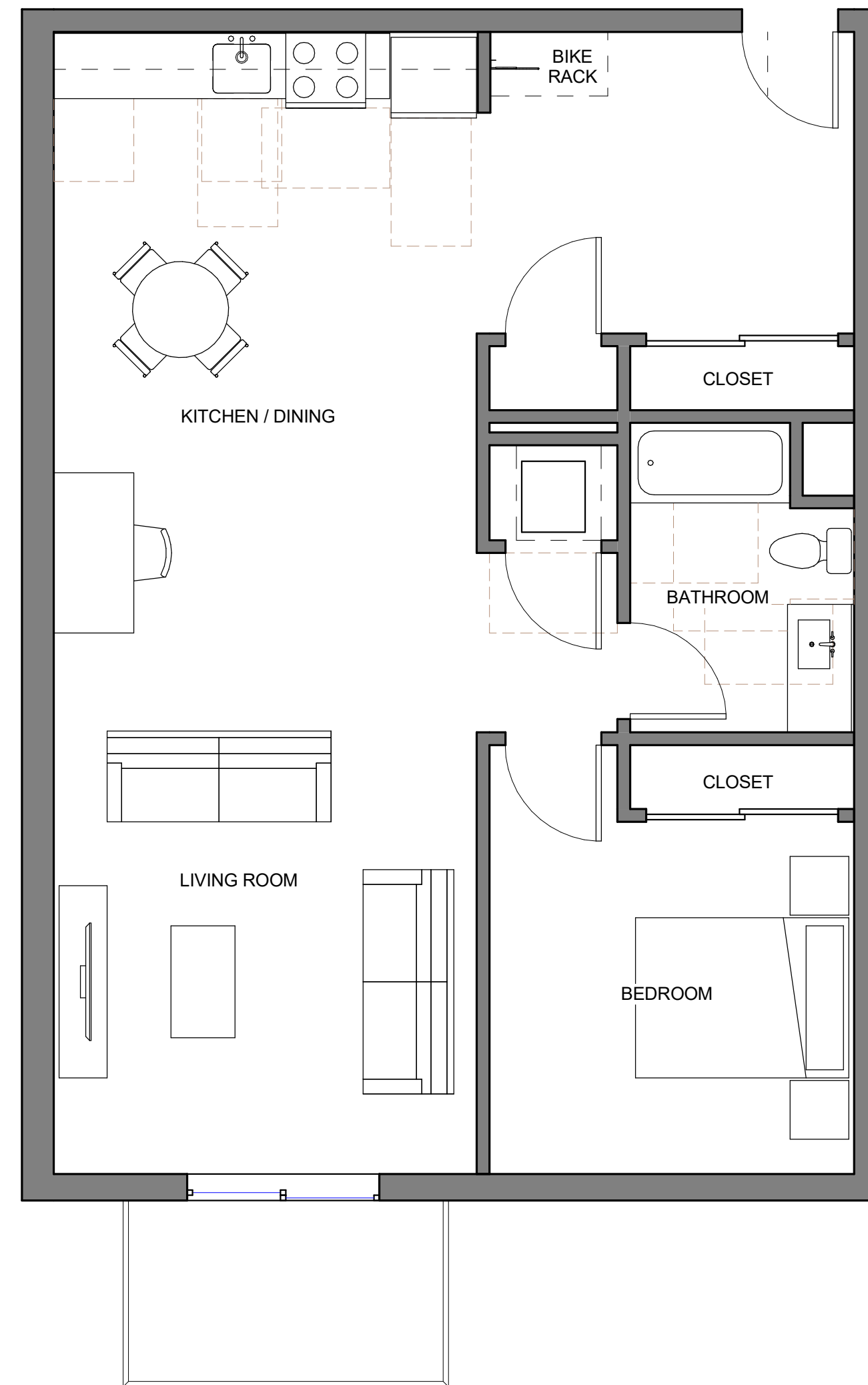
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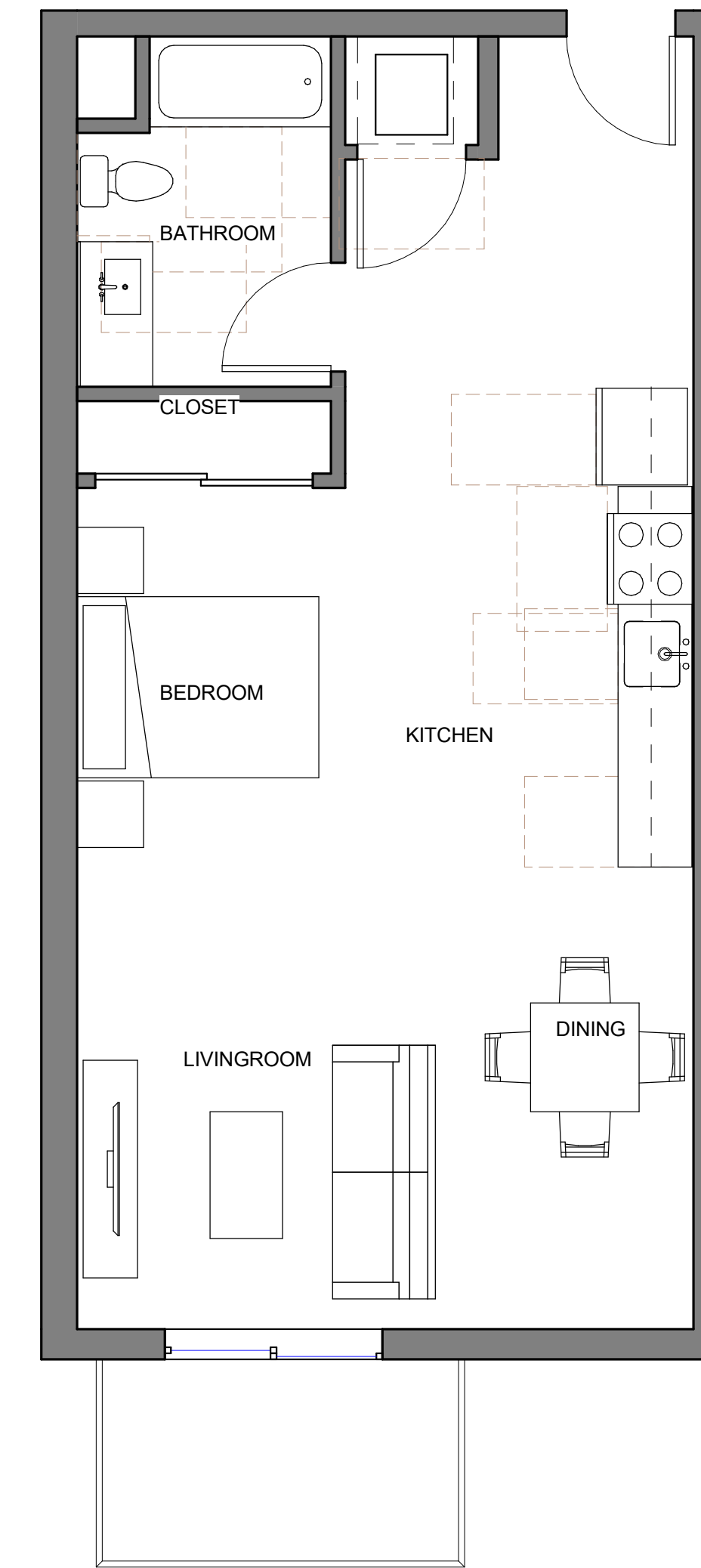
**4**  
UNIT - 1BR FLAT 600SF  
A.211 1/4" = 1'-0"



**3**  
UNIT - 2BR 1100 SF  
A.211 1/4" = 1'-0"



**2**  
UNIT - 1BR 800 SF  
A.211 1/4" = 1'-0"



**1**  
UNIT - STUDIO 500-600 SF  
A.211 1/4" = 1'-0"

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 PORTLAND OREGON 97209  
 503 444 2200

# WESTPORT CUPERTINO

KT Urban

**21267 STEVENS  
CREEK BLVD,  
CUPERTINO, CA**

PROJECT NO.: 14148  
 DRAWN: Author  
 DATE: 14 SEPTEMBER 2017  
 GENERAL PLAN AMENDMENT APP

REVISIONS	MARK:	DATE:	DESCRIPTION:



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**GENERAL PLAN AMENDMENT APP**

SHEET TITLE:  
PHASING PLAN

SHEET NO.:  
**A.212**

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**ARCHITECTURE INC**  
 1645 NW HOYT ST  
 PORTLAND OREGON 97209  
 503 444 2200

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SHEET TITLE:  
NEIGHBORHOOD BUILDING  
HEIGHTS

SHEET NO.:  
**A.213**

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