

THE FORUM SENIOR COMMUNITY UPDATE



THE FORUM AT RANCHO SAN ANTONIO

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CUPERTINO, CA 95014

SMITHGROUP JJR

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ISSUED FOR:
SITE PLAN REVIEW SUBMITTAL #3

ISSUE DATE:
08/11/2017
SGJJR Project #: 21371.007

— CONCEPTUAL RENDERING

8/11/2017 5:11:24 PM

Plot Date:

ALL RENDERINGS ARE INCLUDED TO CONVEY DIAGRAMMATIC GRAPHIC DESIGN INTENT
AND DO NOT NECESSARILY REFLECT DEVELOPMENT OF DOCUMENTATION DRAWINGS.

| | |
|----------------------------|--|
| GENERAL | |
| G0.00 | COVER SHEET |
| G0.01 | SHEET INDEX, GENERAL NOTES AND PROJECT INFORMATION |
| <u>ARCHITECTURE</u> | |
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| A0.12a | CAMPUS PLAN - SERVICE ACCESS |
| A0.12b | CAMPUS PLAN - SERVICE ACCESS |
| A0.13a | CAMPUS PLAN - PEDESTRIAN CIRCULATION |
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| A0.14a | CAMPUS PLAN - VEHICULAR CIRCULATION |
| A0.14b | CAMPUS PLAN - VEHICULAR CIRCULATION |

| CAMPUS | |
|--------|--------------------------------------|
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| A0.11 | CAMPUS PLAN |
| A0.12a | CAMPUS PLAN - SERVICE ACCESS |
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| A0.13a | CAMPUS PLAN - PEDESTRIAN CIRCULATION |
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| A0.14a | CAMPUS PLAN - VEHICULAR CIRCULATION |
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| C2.7 | EXISTING CONDITIONS |
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| C3.2 | SITE PLAN |
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THE FOLLOWING PROJECT GENERAL NOTES APPLY TO THE ENTIRE DRAWING SET AND ARE NOT SPECIFIC TO ANY ONE DISCIPLINE, UNLESS OTHERWISE NOTED:

A. THE CONSTRUCTION DOCUMENTS (DRAWING SET AND SPECIFICATIONS) ARE COMPLEMENTARY AND ESTABLISH DETAILED MINIMUM REQUIREMENTS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

B. THIS SET OF DRAWINGS, WHEN COMPLETE, CONSISTS OF ALL DRAWINGS LISTED BY THE INDEX OF DRAWINGS. THE WORK DESCRIBED BY THE DRAWINGS OF ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED ON DRAWINGS OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO DRAWINGS OF ANOTHER DISCIPLINE.

PARTIAL SETS OF DRAWINGS ARE INCOMPLETE. DO NOT DISTRIBUTE OR UTILIZE PARTIAL SETS OF DRAWINGS.

C. COLUMN GRID LINES IDENTIFIED BY A LETTER DESIGNATION ARE PARALLEL, UNLESS OTHERWISE NOTED. COLUMN GRID LINES IDENTIFIED BY A NUMBER DESIGNATION ARE PARALLEL AND ARE PERPENDICULAR TO THOSE WITH LETTER DESIGNATIONS, UNLESS OTHERWISE NOTED.

D. DISCIPLINE GENERAL NOTES, SYMBOLS AND DEFINITIONS APPLICABLE TO EACH DISCIPLINE'S DRAWINGS MAY BE FOUND AT THE FRONT OF EACH DISCIPLINE'S PORTION OF THE DRAWING SET AND ARE LISTED AS PART OF THE OVERALL PROJECT SHEET INDEX.

E. THE "ARCHITECTURAL" SERIES DRAWINGS TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND LOCATION OF ALL EXPOSED ELEMENTS OF THE WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES.

F. THE DRAWINGS MAY MAKE REFERENCE TO AND/OR ILLUSTRATE ITEMS WHICH ARE NOT PART OF THE WORK OF THE CONTRACT. THESE "NOT IN CONTRACT" ITEMS AS INDICATED ARE REFERENCED AND/OR ILLUSTRATED FOR REFERENCE, INFORMATION AND COORDINATION ONLY.

G. EXISTING CONDITIONS, IF SHOWN, ARE FROM AVAILABLE RECORD DRAWINGS AND OR VISUAL FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ACTUAL EXISTING CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

H. TAKE PRECAUTIONS TO MAINTAIN AND PROTECT NEW WORK AS WELL AS EXISTING SYSTEMS AND ELEMENTS, IF ANY, WHICH ARE TO REMAIN. ANY DAMAGE TO SUCH SYSTEMS AND ELEMENTS SHALL BE IMMEDIATELY REPAIRED IN A MANNER ACCEPTABLE TO THE ARCHITECT. IF SATISFACTORY REPAIRS CANNOT BE MADE, REPLACE SYSTEMS AND ELEMENTS WITH "LIKE NEW" QUALITY ACCEPTABLE TO THE ARCHITECT. ALL REPAIRS AND REPLACEMENT COST SHALL BE THE FINANCIAL RESPONSIBILITY OF THE RESPONSIBLE PARTY.

I. ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC., MUST COMPLY WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND REGULATIONS OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT, AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING CODE OR REGULATION.

J. IDENTIFY AND NOTIFY THE ARCHITECT/ENGINEER OF CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW REASONABLE AND ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT/ENGINEER AND OWNER.

K. REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT BEFORE COMMENCING CONSTRUCTION AND ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.

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A detailed map of the Project Site location in Sunnyvale, California. The map shows the city of Sunnyvale in the center, with Mountain View to the west, San Jose to the east, Santa Clara to the south, and Cupertino to the south. The Project Site is marked with a black dot and a line pointing to the label 'PROJECT SITE'. The map includes major roads such as Highway 101, Highway 880, and Highway 280. Landmarks such as the NASA Ames Research Center, Sunnyvale Public Library, and Santa Clara University are labeled. The map also shows the locations of the Mountain View, Sunnyvale, and Santa Clara cities, as well as the San Jose International Airport. The map is titled 'VIEW NOT TO SCALE' and includes a north arrow in the bottom right corner.

| GENERAL INFORMATION | | | |
|--|---|-------------------------|----------------------------------|
| APN | | | |
| PROJECT ADDRESS | 23500 Cristo Rey Drive, Cupertino, CA 95014 | | |
| YEAR BUILT | | | |
| SITE AREA | 51.12 acres / 2,226,593 sq. ft. | | |
| TOTAL AREA (COMMUNITY UPDATE ADDITION AREA + EXISTING BUILDINGS) | 795,110 SQ. FT. | | |
| FLOOR AREA RATIO (FAR) | .36 | | |
| ZONING DESIGNATION | P: Institutional* | | |
| GENERAL PLAN DESIGNATION | Quasi-Public / Institutional* | | |
| IN FEMA FLOOD ZONE? | No | | |
| <p>* A small portion of the site currently has the following designations: Parks and Open Space (General Plan), and Park and Recreation (zoning). These designations are clerical errors and the City is in the process of clean-up amendments to designate the entire project site Institutional.</p> | | | |
| AREA TABULATION: COMMUNITY UPDATE | | | |
| MASTER PLAN COMPONENT | | ADDITION AREA (SQ. FT.) | RENOVATION AREA* (SQ. FT.) |
| SKILLED NURSING FACILITY (SNF) | | 21,259 | 24,767 |
| ASSISTED LIVING (AL) RENOVATION | | n/a | 10,400 |
| MEMORY CARE (MC) BUILDING | | 38,179 | n/a |
| INDEPENDENT LIVING (IL) VILLAS** | | 57,166 | n/a |
| COMMONS BUILDING, MULTI-PURPOSE ROOM ADDITION & FITNESS RENOVATION AND ADDITION | | 21,916 | 4,670 |
| TOTAL AREA OF COMMUNITY UPDATE: | | 138,520 | 39,837 |
| <p>* Renovation Area reflects the portions of existing building areas (see below) to be renovated as part of the community update.</p> | | | |
| <p>**Area of Independent Living (IL) Villas listed in 12/16/2016 Submittal (39,880 sq. ft.) excluded the area of attached garages. The area shown in the table has been revised to reflect the total gross area of new villas, including attached garages.</p> | | | |
| AREA TABULATION: EXISTING BUILDINGS | | | |
| EXISTING BUILDING | | | EXISTING BUILDING AREA (SQ. FT.) |
| INDEPENDENT LIVING (IL) VILLAS AND APARTMENTS | | | 402,640 |
| GARAGES IN INDEPENDENT LIVING (IL) APARTMENT BUILDINGS | | | 130,400 |
| COMMONS BUILDING | | | 40,000 |
| CIRCULATION SPINE | | | 10,800 |
| SKILLED NURSING FACILITY (SNF) | | | 27,365 |
| ASSISTED LIVING (AL) | | | 30,256 |
| MEMORY CARE (MC) | | | 15,129 |
| TOTAL EXISTING BUILDING AREA: | | | 656,590 |
| <p>NET TOTAL AREA: (TOTAL AREA OF COMMUNITY UPDATE + TOTAL EXISTING BUILDING AREA - RENOVATION AREA OF COMMUNITY UPDATE)</p> | | | 795,110 |

| | ADDITIONAL BEDS |
|---|-----------------|
| COMMUNITY UPDATE COMPONENT | |
| SKILLED NURSING FACILITY (SNF) | |
| ASSISTED LIVING (AL) RENOVATION | |
| MEMORY CARE (MC) BUILDING | |
| INDEPENDENT LIVING (IL) VILLAS** | |
| COMMONS BUILDING, MULTI-PURPOSE ROOM ADDITION & FITNESS RENOVATION AND ADDITION | |

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| ADDITIONAL STAFF | |
| TOTAL STAFF: | |

| | PARKING STALLS EXISTING | PARKING STALLS TO BE REMOVED | PARKING STALLS TO BE ADDED | NET PARKING STALLS TO BE ADDED |
|-------------------|----------------------------|---------------------------------|-------------------------------|--------------------------------------|
| UNI-SIZE STALLS | 529 | 46 | 168 | 122* |
| ACCESSIBLE STALLS | 24 | 7 | 13 | 6** |
| TOTAL STALLS: | 553 | 53 | 181 | 128 |

Cupertino, CA Municipal Code, Table 19.124.040(A)

| MASTER PLAN COMPONENT | Land Use | Zones | Parking Ratio | Parking Stalls Required |
|--|-------------------------------|-------|---|--|
| SKILLED NURSING FACILITY (SNF), MEMORY CARE (MC) BUILDING, ASSISTED LIVING (AL) RENOVATION, COMMONS BUILDING, MULTIPURPOSE ROOM & FITNESS ADDITION | Sanitariums and Rest Homes | BQ | 1/doctor + 1/3 employees + 1/6 beds | (1) + (42 employees/3) + (36 beds/6) = 21 stalls required |
| INDEPENDENT LIVING (IL) VILLAS: SINGLE UNITS | Sanitariums and Rest Homes | BQ | 4/DU (2 garage) + 28 open | (7 DU) x (4) = 28 stalls required |
| INDEPENDENT LIVING (IL) VILLAS: DUPLEX UNITS | Sanitariums and Rest Homes | BQ | 3/DU (1 1/2 enclosed + 1 1/2 open) | (9 DU) x (3) = 27 stalls required |
| TOTAL STALLS REQUIRED: | | | | 76 |

| California Building Code, Title 24 Part 2, Volume 1, 2016 | | |
|---|---|--|
| Per Table 11B-208.2: PARKING SPACES | TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY | MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES |
| | 151 to 200 | 6 |

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| SITE PLAN REVIEW SUBMITTAL #3 | | 11 AUG 2017 |
| SITE PLAN REVIEW SUBMITTAL #2 | | 28 APR 2017 |
| REPLACEMENT SHEET | | 19 DEC 2016 |
| SITE PLAN REVIEW SUBMITTAL | | 16 DEC 2016 |

SEALS AND SIGNATURES

NOT FOR
CONSTRUCTION

SHEET TITLE

SHEET INDEX, GENERAL NOTES AND PROJECT INFORMATION

21371.007

PROJECT NUMBER

SHEET NUMBER

G0.01

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| SITE PLAN REVIEW SUBMITTAL #3 | | 11 AUG 2017 |
| SITE PLAN REVIEW SUBMITTAL #2 | | 28 APR 2017 |
| SITE PLAN REVIEW SUBMITTAL | | 16 DEC 2016 |

SEALS AND SIGNATURES

NOT FOR
CONSTRUCTION

KEYPLAN



SHEET TITLE

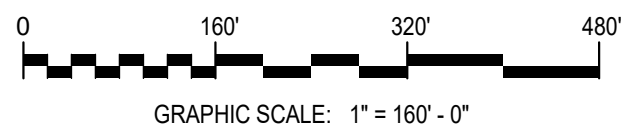
EXISTING CAMPUS PLAN

21371.007

PROJECT NUMBER

SHEET NUMBER

A0.10



Plot Date: 8/11/2017 5:30:03 PM

Plot Date:

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CAMPUS PLAN - EXISTING
SCALE: 1" = 160'-0"

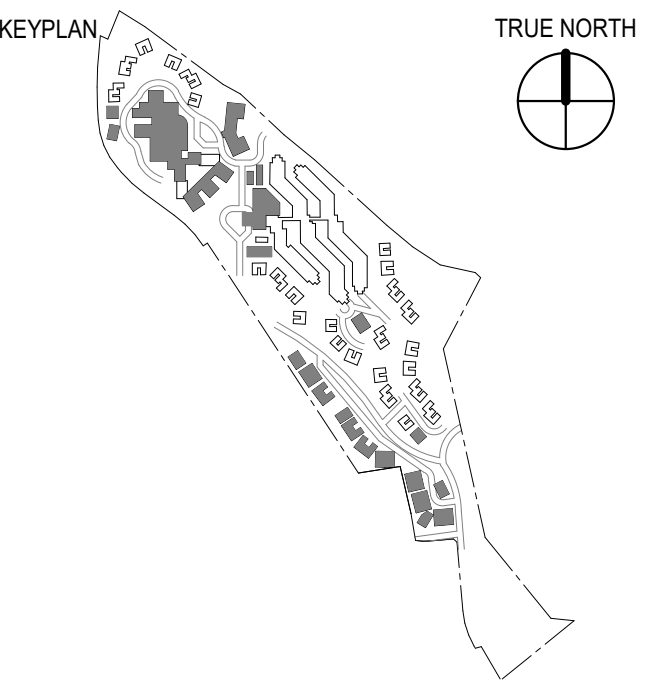
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| SITE PLAN REVIEW SUBMITTAL #3 | | 11 AUG 2017 |
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| SITE PLAN REVIEW SUBMITTAL | | 16 DEC 2016 |

SEALS AND SIGNATURES

NOT FOR
CONSTRUCTION



SHEET TITLE

CAMPUS PLAN

21371.007

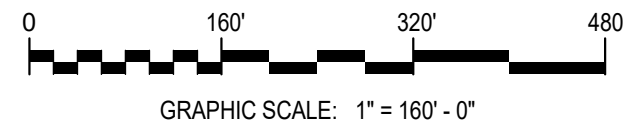
PROJECT NUMBER

A0.11

SHEET NUMBER



1 CAMPUS PLAN
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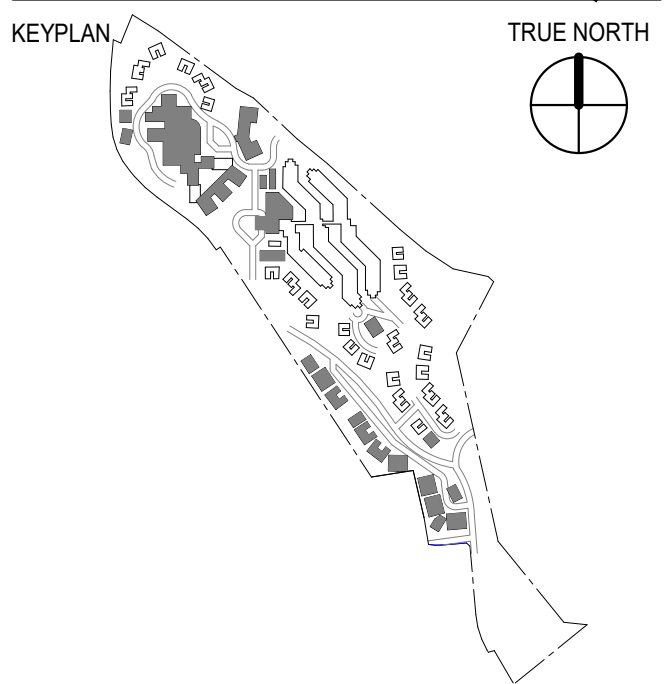


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| SITE PLAN REVIEW SUBMITTAL #3 | | 11 AUG 2017 |

NOT FOR
CONSTRUCTION



21371.007

A0.12a

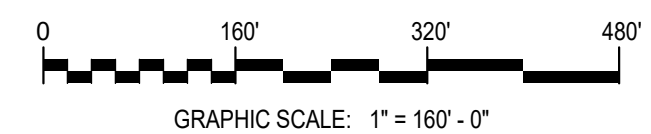
SHEET NUMBER

SHEET A0.12b

MATCH LINE

Plot Date: 8/11/2017 8:18:11 PM Author:

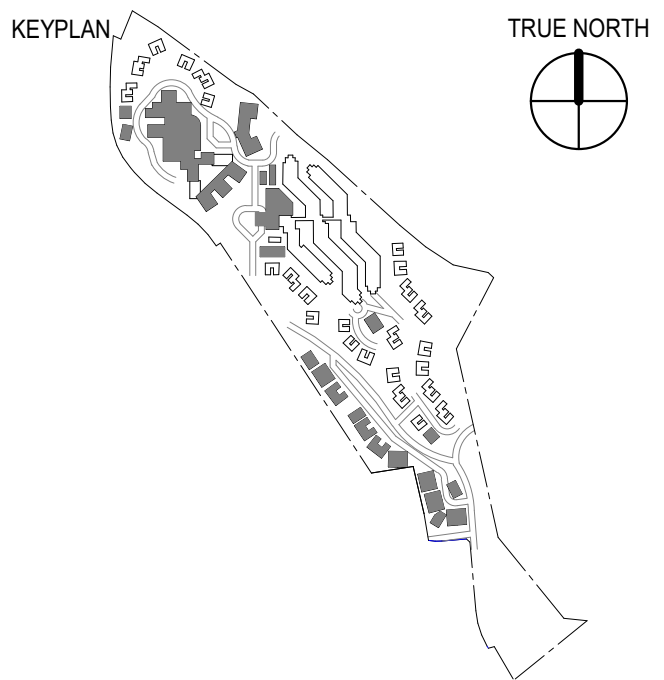
1 CAMPUS PLAN - SERVICE ACCESS - SOUTH
SCALE: 1" = 50'-0"



SMITHGROUPJJR

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| SITE PLAN REVIEW SUBMITTAL #3 | | 11 AUG 2017 |

NOT FOR
CONSTRUCTION



CAMPUS PLAN - SERVICE ACCESS

A0.12b

Plot Date: 8/11/2017 8:18:32 PM Author:

Plot Date:

1 CAMPUS PLAN - SERVICE ACCESS - NORTH
SCALE: 1" = 50'-0"

SCALE: 1" = 50'-0"

0 160' 320' 480'

GRAPHIC SCALE: 1" = 160' - 0"

SMITHGROUP JJR

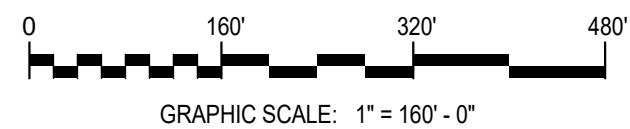
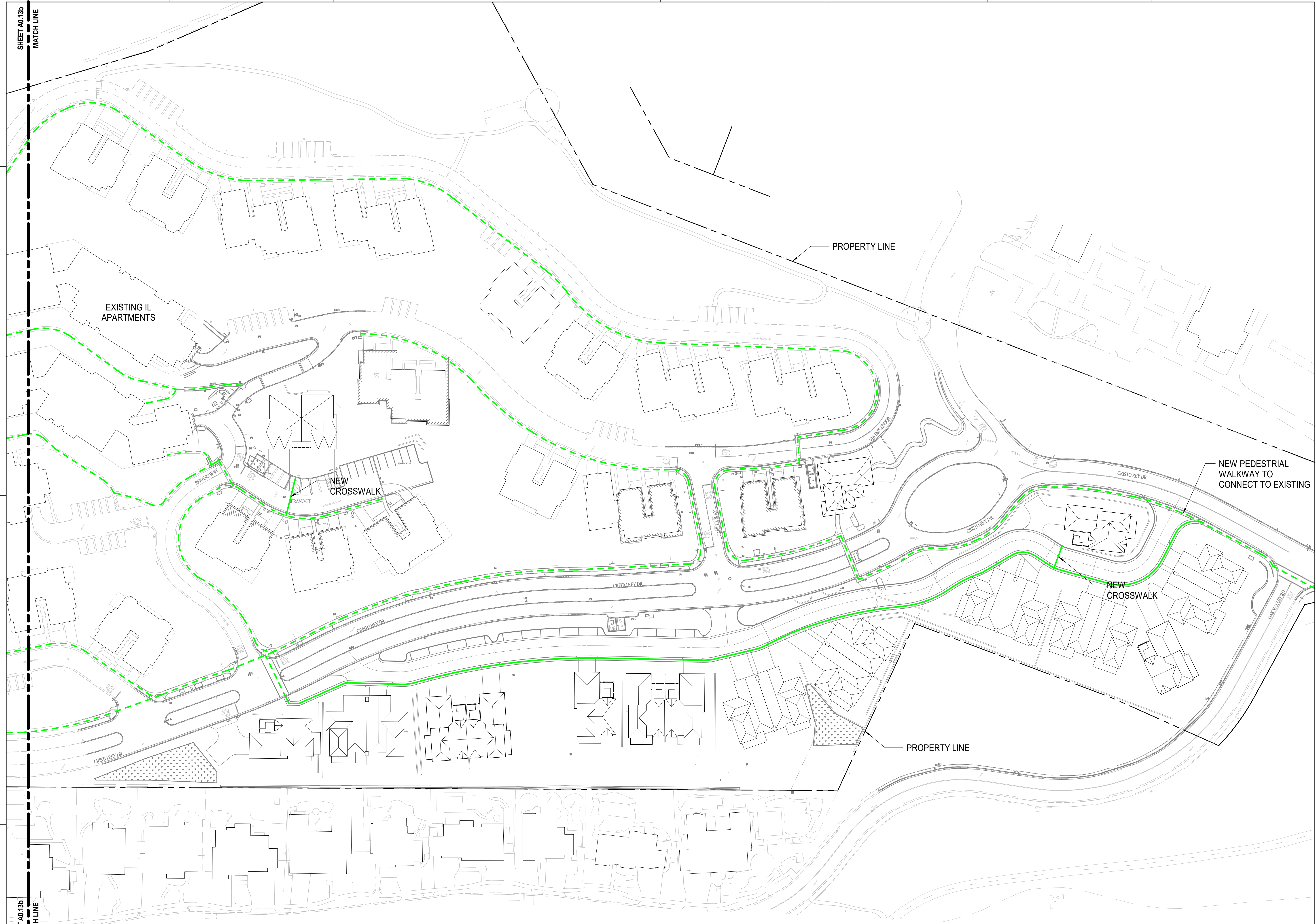
[illegible]

NOT FOR
CONSTRUCTION

SHEET TITLE

CAMPUS PLAN -
PEDESTRIAN
CIRCULATION

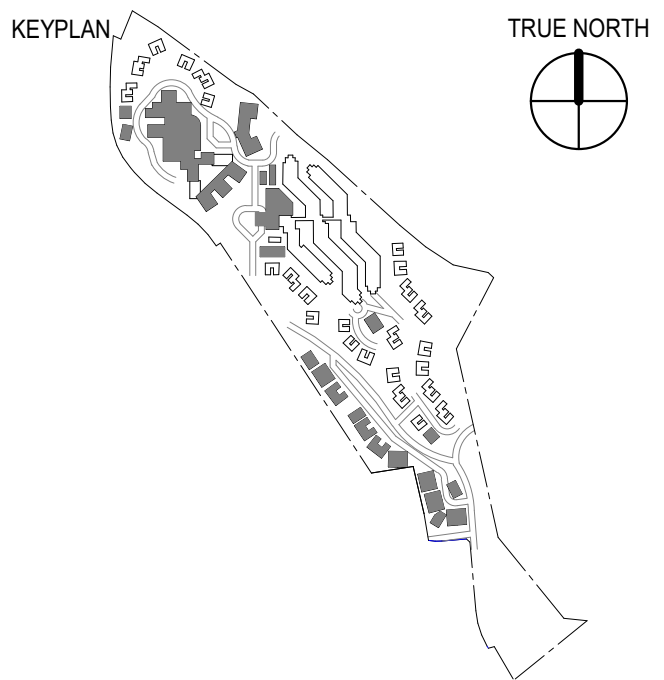
PROJECT NUMBER 21371.007
A0.13a
SHEET NUMBER



SMITHGROUPJJR

[illegible]

NOT FOR
CONSTRUCTION



CAMPUS PLAN - PEDESTRIAN CIRCULATION

A0.13b

Plot Date: 8/11/2017 8:19:09 PM Author:

Plot Date:

1 CAMPUS PLAN - PEDESTRIAN CIRCULATION NORTH
SCALE: 1" = 50'-0"

SCALE: 1" = 50'-0"

0 160' 320' 480'

GRAPHIC SCALE: 1" = 160' - 0"

SMITHGROUPJJR

| ISSUED FOR | REV | DATE |
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| SITE PLAN REVIEW SUBMITTAL #3 | | 11 AUG 2017 |

NOT FOR
CONSTRUCTION

SHEET TITLE

CAMPUS PLAN -
VEHICULAR
CIRCULATION

PROJECT NUMBER

A0.14a

SHEET NUMBER

1 CAMPUS PLAN - VEHICULAR CIRCULATION SOUTH
SCALE: 1" = 50'-0"

0 160' 320' 480'

GRAPHIC SCALE: 1" = 160' - 0"