

VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
 86 PAGE MILL ROAD, PALO ALTO, CA 94304
 T. 650.944.1500

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
 87 WINDHAM STREET, NEW YORK, NY 10013
 T. 212.424.5363

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
 1033 N. WOLFE ROAD, CUPERTINO, CA 95014
 T. 408.427.7390

LANDSCAPE ARCHITECTURE - OUR PARTNERSHIP LTD.
 100 S. INDEPENDENCE AVE., SUITE 100, PHILADELPHIA, PA 19106
 T. 215.442.0201

CIVIL - SANDS CIVIL ENGINEERS SURVIVORS PLANNERS, INC.
 1705 S. BRIDGECREST BLVD., SUITE 200, CARPENTERSVILLE, CA 95026
 T. 408.436.0390

TRANSPORTATION ENGINEERING - HELP NORTH AMERICA LTD.
 860 BRIDGEMAN STREET, SUITE 700, SAN FRANCISCO, CA 94103
 T. 415.957.9443

LIGHTING - ONE LEE STUDIO
 158 WEST 25TH STREET, 10TH FLOOR, NEW YORK, NY 10001
 T. 212.201.0790

SONORISE - S&T
 1617 JFK BLVD., SUITE 1885, PHILADELPHIA, PA 19103
 T. 215.981.1900

PARKING ENGINEERING - HATRY DESIGN, INC.
 2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95116
 T. 408.962.7900

LEGEND

- PROPERTY LINE
- STREET LEVEL PLAN - BUILDING
- STREET LEVEL PLAN - CURB
- UNDERGROUND PARKING
- DRAINAGE BOUNDARY LINE
- PROPOSED GREEN ROOF - SELF TREATING AREA
- IMPERVIOUS AREA ON GREEN ROOF, BUILDING FOOTPRINT OR NATURAL GRADE - COLLECTED AND SENT TO CAPTURE
- LANDSCAPE AREA NOT ON GREEN ROOF OR FOOTPRINT STRUCTURE - SELF TREATING AREA/ CAPTURE
- PROPOSED CISTERN IN BASEMENT

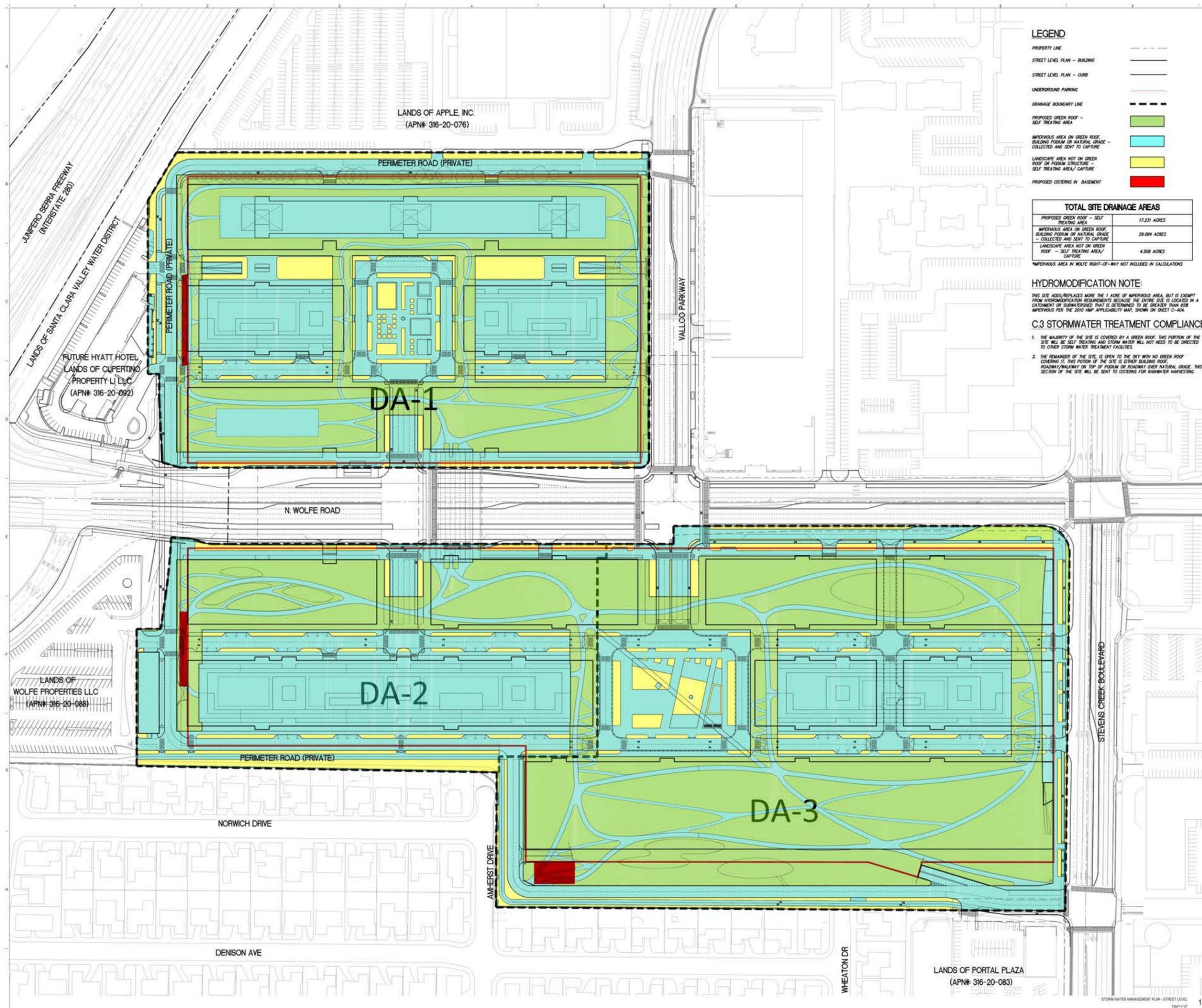
TOTAL SITE DRAINAGE AREAS	
PROPOSED GREEN ROOF - SELF TREATING AREA	17.231 ACRES
IMPERVIOUS AREA ON GREEN ROOF, BUILDING FOOTPRINT OR NATURAL GRADE - COLLECTED AND SENT TO CAPTURE	29.084 ACRES
LANDSCAPE AREA NOT ON GREEN ROOF - SELF TREATING AREA/ CAPTURE	4.508 ACRES

HYDROMODIFICATION NOTE:

THIS SITE ADDS/REPLACES MORE THAN 1 ACRE OF IMPERVIOUS AREA, BUT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS BECAUSE THE ENTIRE SITE IS LOCATED IN A CATCHMENT OF SUBWATERED THAT IS DETERMINED TO BE GREATER THAN ONE IMPERVIOUS PER THE 2010 HMP APPLICABILITY MAP, SHOWN ON SHEET C-104.

C.3 STORMWATER TREATMENT COMPLIANCE

- THE MAJORITY OF THE SITE IS COVERED BY A GREEN ROOF. THIS PORTION OF THE SITE WILL BE SELF TREATING AND STORM WATER WILL NOT NEED TO BE DIRECTED TO OTHER STORM WATER TREATMENT FACILITIES.
- THE REMAINDER OF THE SITE IS OPEN TO THE SKY WITH NO GREEN ROOF COVERING IT. THIS PORTION OF THE SITE IS EITHER BUILDING ROOF, ROADWAY/WALKWAY ON TOP OF FOOTPRINT OR ROADWAY OVER NATURAL GRADE. THIS SECTION OF THE SITE WILL BE SENT TO CISTERNS FOR RAINWATER HARVESTING.

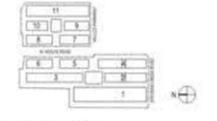


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SB-35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 1	SB-35 DEVELOPMENT APPLICATION	03/27/2018



ARCHITECTS PROJECT NUMBER: 789871
 PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION

IF THIS DRAWING IS NOT 30" WIDE IT IS A REDUCED PRINT. REFER TO GRAPHIC SCALE.



SCALE: 1/8" = 1'-0"

STORM WATER MANAGEMENT PLAN - STREET LEVEL

SHEET NUMBER: P-0403

SHEET NAME: STORM WATER MANAGEMENT PLAN - STREET LEVEL

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VALLCO TOWN CENTER

OWNER: VALLCO PROPERTY OWNER LLC
185 FIDGE WEL ROAD, PALO ALTO, CA 94304
T. 650.344.1300

ARCHITECTURE: RAFAEL VINOY ARCHITECTS
84 VANDAN STREET, NEW YORK, NY 10013
T. 212.924.5000

ARCHITECTURE: RAFAEL VINOY ARCHITECTS
803 N. WALDE ROAD, CUPERTINO, CA 95014
T. 408.427.7000

LANDSCAPE ARCHITECTURE: ULM PARTNERSHIP LTD.
150 S. INDEPENDENCE MALL W. SUITE 1123, PHILADELPHIA, PA 19106
T. 215.448.0020

CIVIL: SAKDIS CIVIL ENGINEERS SURVEYORS PLANNERS, INC.
1700 S. WINCHESTER BLVD., SUITE 200, CAMPBELL, CA 95008
T. 408.438.0900

TRANSPORTATION ENGINEERING: ARUP NORTH AMERICA, LTD.
140 MISSION STREET SUITE 700 SAN FRANCISCO CA 94105
T. 415.957.9445

LANDSCAPE ARCHITECTURE: ULM PARTNERSHIP LTD.
150 S. INDEPENDENCE MALL W. SUITE 1123, PHILADELPHIA, PA 19106
T. 215.448.0020

SCAPE: EXET
1617 JFK BLVD. SUITE 1065, PHILADELPHIA, PA 19103
T. 215.561.1500

PLANNING ENGINEERING: WATRY DESIGN, INC.
3099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95118
T. 408.392.7900

CISTERN SIZING CALCULATIONS BY DRAINAGE AREAS:

Drainage Area 1 (DA-1) Volume Based Treatment Measures
using the UFGM Approach

Step 1. Drainage Area for BMP: **17.62** acres

Step 2. a. Impervious Area: **9.92** acres
b. Impervious ratio: (i) **56.3%**

Step 3. Washed runoff Coefficient $C_w = 0.382$
($C_w = 0.858 \cdot 0.78 + 0.774 + 0.04$)

Step 4. Mean Annual Precipitation: **16** inches

Step 5. Closest Rain Gage: San Jose Airport

Gage	MAP _{gpg}	(P _{1,2}) _{gpg} (in)
San Jose Airport	13.9	0.512
Palo Alto	13.7	0.522
Morgan Hill	19.5	0.76

MAP_{gpg} = 13.9
(P_{1,2})_{gpg} = 0.512

Step 6. Mean Storm Event Precipitation Depth (P_{1,2})_{gpg}
(P_{1,2})_{gpg} = (P_{1,2})_{gpg} X (MAP_{gpg} / MAP_{gpg}) = **0.589** inches

Step 7. "n" regression constant

Duration	n	Duration	n
48 hour	1.963	48 hour	1.963
24 hour	1.562	24 hour	1.562
12 hour	1.312	12 hour	1.312

Step 8. Maximized Storage Area
 $P_s = (i \times C_w) \times P_s$ = **0.442** inches

Step 9. Volume of Runoff to be Treated
Design Volume = Po X A X 18/12in = **0.649** acre-ft
28,254 cu-ft

Step 10. Double Volume for Back to Back Storm
1.297 acre-ft
56,509 cu-ft

Step 11. Size Cistern
Assume 25' Tall X 12' Wide
Length = **190** ft
Total Cistern Storage Volume = **57,000** cu-ft

Drainage Area 2 (DA-2) Volume Based Treatment Measures
using the UFGM Approach

Step 1. Drainage Area for BMP: **11.32** acres

Step 2. a. Impervious Area: **7.17** acres
b. Impervious ratio: (i) **63.3%**

Step 3. Washed runoff Coefficient $C_w = 0.435$
($C_w = 0.858 \cdot 0.78 + 0.774 + 0.04$)

Step 4. Mean Annual Precipitation: **16** inches

Step 5. Closest Rain Gage: San Jose Airport

Gage	MAP _{gpg}	(P _{1,2}) _{gpg} (in)
San Jose Airport	13.9	0.512
Palo Alto	13.7	0.522
Morgan Hill	19.5	0.76

MAP_{gpg} = 13.9
(P_{1,2})_{gpg} = 0.512

Step 6. Mean Storm Event Precipitation Depth (P_{1,2})_{gpg}
(P_{1,2})_{gpg} = (P_{1,2})_{gpg} X (MAP_{gpg} / MAP_{gpg}) = **0.589** inches

Step 7. "n" regression constant

Duration	n	Duration	n
48 hour	1.963	48 hour	1.963
24 hour	1.562	24 hour	1.562
12 hour	1.312	12 hour	1.312

Step 8. Maximized Storage Area
 $P_s = (i \times C_w) \times P_s$ = **0.504** inches

Step 9. Volume of Runoff to be Treated
Design Volume = Po X A X 18/12in = **0.475** acre-ft
20,693 cu-ft

Step 10. Double Volume for Back to Back Storm
0.950 acre-ft
41,386 cu-ft

Step 11. Size Cistern
Assume 15' Tall X 17' Wide
Length = **185** ft
Total Cistern Storage Volume = **42,075** cu-ft

Drainage Area 3 (DA-3) Volume Based Treatment Measures
using the UFGM Approach

Step 1. Drainage Area for BMP: **21.69** acres

Step 2. a. Impervious Area: **15.99** acres
b. Impervious ratio: (i) **74.4%**

Step 3. Washed runoff Coefficient $C_w = 0.371$
($C_w = 0.858 \cdot 0.78 + 0.774 + 0.04$)

Step 4. Mean Annual Precipitation: **16** inches

Step 5. Closest Rain Gage: San Jose Airport

Gage	MAP _{gpg}	(P _{1,2}) _{gpg} (in)
San Jose Airport	13.9	0.512
Palo Alto	13.7	0.522
Morgan Hill	19.5	0.76

MAP_{gpg} = 13.9
(P_{1,2})_{gpg} = 0.512

Step 6. Mean Storm Event Precipitation Depth (P_{1,2})_{gpg}
(P_{1,2})_{gpg} = (P_{1,2})_{gpg} X (MAP_{gpg} / MAP_{gpg}) = **0.589** inches

Step 7. "n" regression constant

Duration	n	Duration	n
48 hour	1.963	48 hour	1.963
24 hour	1.562	24 hour	1.562
12 hour	1.312	12 hour	1.312

Step 8. Maximized Storage Area
 $P_s = (i \times C_w) \times P_s$ = **0.429** inches

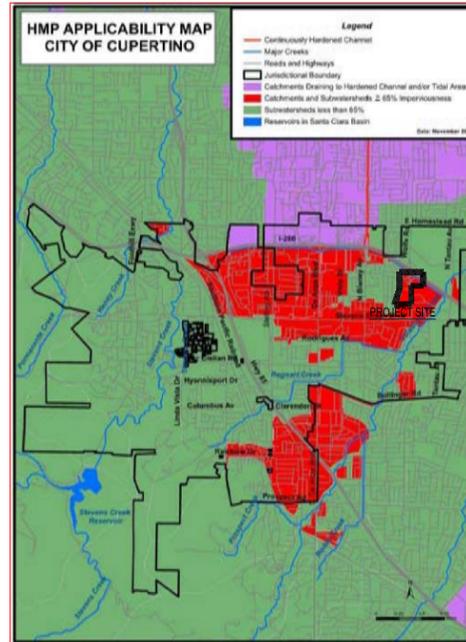
Step 9. Volume of Runoff to be Treated
Design Volume = Po X A X 18/12in = **0.783** acre-ft
34,112 cu-ft

Step 10. Double Volume for Back to Back Storm
1.566 acre-ft
68,223 cu-ft

Step 11. Size Cistern
Assume 15' Tall X 50' Wide
Length = **95** ft
Total Cistern Storage Volume = **71,250** cu-ft

NOTE:

FOR THE PURPOSE OF THIS STORMWATER MANAGEMENT PLAN, THE SITE HAS BEEN LOOKED AT AS THREE DRAINAGE AREAS. RAINWATER CISTERNS WILL BE DESIGNED IN MORE DEPTH AND COORDINATED WITH THE PLUMBING ENGINEER TO WORK WITH CONSTRUCTION PHASING, THE SITE SPANNING PUBLIC RIGHT OF WAY AND IRRIGATION DEMANDS. THESE CISTERNS WILL BE SIZED INDIVIDUALLY BASED THEIR RESPECTIVE DRAINAGE AREAS.



HYDROMODIFICATION MAP

NOTE:
PROJECT IS EXEMPT FROM HYDROMODIFICATION BECAUSE IT IS LOCATED IN A WATERSHED THAT IS GREATER THAN 65% IMPERVIOUS.

FLOOD ZONE NOTE:

THE SITE IS CURRENTLY LOCATED IN FLOOD ZONE X ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM), PANEL 209H, MAP #060802009H, DATED MAY 18, 2009. FLOOD ZONE X ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

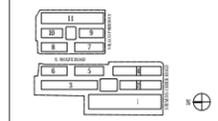


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SB -35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 4	SB -35 DEVELOPMENT APPLICATION	03/27/2018



KEY PLAN AND NORTH ARROW

ARCHITECT'S PROJECT NUMBER: 208011

PROJECT PHASE: SB -35 DEVELOPMENT APPLICATION

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STORM WATER MANAGEMENT PLAN - DETAILS

SHEET TITLE:

P-0404

SHEET NUMBER: 0018 RAFAEL VINOY ARCHITECTS

City of Cupertino

STAFF ONLY
Building Permit
Date: _____
Permit #: _____

PERMIT PROVISION C.3. IMPERVIOUS SURFACE DATA FORM

All Project Applicants with 5,000 sq. ft. or more of impervious surface on the project site must fill out this worksheet and submit it with the development project application to the Engineering Division of the Public Works Department. Contact Public Works at (408) 777-3354 for guidance.

C.3 Regulated Projects are projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site AND all restaurants, auto service facilities, retail gasoline outlets, and uncovered parking lot projects that create and/or replace 5,000 sq. ft. or more of impervious surface on the project site.

All applicants with C.3 Regulated projects must reserve a minimum of 4% of developable surface area for the placement of storm water treatment facilities unless an alternative storm water treatment plan is approved by the Public Works Engineer.

What is an Impervious Surface?
An impervious surface is a covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to rooftops, walkways, paved patios, driveways, parking lots, storage areas, concrete and asphalt, and any other continuous water-tight pavement or covering. Pervious pavement, underlain with pervious soil or pervious storage material (e.g., drain rock), that infiltrates rainfall at a rate equal to or greater than surrounding unpaved areas OR that stores and infiltrates the water quality design volume specified in Provision C.3.d of the Municipal Regional Stormwater Permit (MRP), is not considered an impervious surface.

Date: _____ APN: _____
Project Location: _____
Project Name: _____
Applicant Name: _____
Engineer: _____
Project Phase(s): _____
Project Description: _____
Project Type (check all that apply): _____
If Residential, does the project consist of a single-family home that is not part of a larger common plan of development? _____
If Yes, stop here and return sheet 1 only to the Engineering Division of the Public Works Department.

Project Watershed/Receiving Water (creek): Catalabazas Creek

7. Project Size:

Impervious Area	Replaced	New	Total Post-Project Area (ft ²)	
Roof	588,644	543,122	0	543,122
Parking	516,263	11,850	0	11,850
Streets and Sidewalks	672,999	672,999	39,114	712,113
c. Total Impervious Area	1,777,906	1,266,971	0	1,266,971
d. Total new and replaced impervious area	1,266,971			

8. Pervious Area:

Land Use	Area (ft ²)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
Landscaping	37,915	37,915	158,441	196,356
Pervious Paving	0	0	0	0
Other (e.g., Green Roof)	0	0	750,580	750,580
e. Total Pervious Area	37,915	37,915	909,021	946,936

f. Percent Replacement of Impervious Area in Redevelopment Projects (Replaced Total Impervious Area ÷ Existing Total Impervious Area) x 100% = 58.2%

8. State Construction General Permit Applicability:

a. Is #2.d. equal to 1 acre or more?
Yes, applicant must obtain coverage under the State Construction General Permit (i.e., file a Notice of Intent and prepare a Stormwater Pollution Prevention Plan) (see <http://www.sdsds.ca.gov/npdes/>) for details.
No, applicant does not need coverage under the State Construction General Permit.

9. MRP Provision C.3 Applicability:

a. Is #2.d. equal to 10,000 sq. ft. or more, or 5,000 sq. ft. or more for restaurants, auto service facilities, retail gas outlets, and uncovered parking?
*Note that for public projects, the 5,000 sq. ft. threshold does not take effect until 12/1/12.
Yes, C.3. source control, site design and treatment requirements apply.
No, C.3. source control, site design and treatment requirements may apply - check with local agency.

b. Is #2.f. equal to 50% or more?
Yes, C.3. requirements (site design and source control, as appropriate, and stormwater treatment) apply to entire site.
No, C.3. requirements only apply to impervious area created and/or replaced.

9. Hydromodification Management (HMP) Applicability:

a. Does project create and/or replace one acre or more of impervious surface AND create an increase in total impervious surface from the pre-project condition?
Yes (continue) No - exempt from HMP, go to page 3.

b. Is the project located in an area of HMP applicability (green) on the HMP Applicability Map? (Open <http://www.sdsds.ca.gov/npdes/>)
Yes, project must implement HMP requirements. No - exempt from HMP, go to page 3.

6. Selection of Specific Stormwater Control Measures:

Site Drain Measures

Minimize land disturbed
 Minimize impervious surfaces
 Stormwater impact street or parking lot design
 Cluster structures/pavement
 Disconnected stormwater
 Pervious pavement
 Green roof
 Microclimate in landscape
 Other self-treating area
 Self-retaining area
 Rainwater harvesting and use (e.g., rain barrel, cistern connected to roof downspout)
 Preserved open space - 5% of sq. ft. covered area
 Protected riparian and wetland areas/buffers (setback from top of bank - ft.)
 Other _____

Storm Control Measures

Alternative building materials
 Wash areas, drains to sanitary sewer
 Covered dumpster area, drain to sanitary sewer
 Sanitary sewer separation or accessible cleanout for emptying geotextile/bioretention?
 Beneficial landscaping (increase vegetation, runoff, mulches and terraces, promote treatment)
 Outdoor material storage protection
 Covers, drains for loading docks, maintenance bays, fueling areas
 Maintenance (prevent sweeping catch basin cleaning, good housekeeping)
 Storm drain labeling
 Other _____

Treatment Systems

None (all impervious surface drains to self-treating area)
LID Treatment
 Rainwater harvest and use (e.g., cistern or rain barrel used for C.3.d. elements)
 Covered dumpster area, drain to sanitary sewer
 Infiltration basin
 Infiltration trench
 Exfiltration ditches and infiltration system (e.g. open area pervious area with high density media)
Bioretention?
 Bioretention area
 Flow-through planter
 Tree box with bioretention cells
 Other _____

Other Treatment Methods

Proprietary tree box filter?
 Media filter sand, charcoal, or proprietary media?
 Vegetated filter strip?
 Dry detention basin?
 Other _____

Flow Detention Controls for Hydromodification Management (HMP)

Detention basin
 Underground tank or vault
 Bioretention with outlet control
 Other _____

7. Treatment System Sizing for Projects with Treatment Requirements
Indicate the hydraulic sizing criteria used and provide the calculated design flow or volume:

Treatment System Component	Hydraulic Sizing Criteria Used	Design Flow or Volume (cfs or cu-ft)

Key: 1a. Volume - WEF Method
1b. Volume - CASQA BMP Handbook Method
2a. Flow - Rational Flood Flow Method
2b. Flow - CASQA BMP Handbook Method
2c. Flow - Uniform Intensity Method
3. Combination Flow and Volume Design Basis

8. Condition of Approval for Landscape Plans (use of native plants, tree reservations).

9. Third Party Certification:
A qualified consultant (that is not a member of the project team or City staff) will be required to review the treatment system sizing and design and certify the Stormwater Management Plan and/or Hydromodification Flow Control Facilities. A list of qualified consultants can be found at <http://www.sdsds.ca.gov/npdes/consultants.htm>

10. Operation & Maintenance Information

A. Property Owner's Name: _____
B. Responsible Party for Stormwater Treatment/Hydromodification Control OAM:
a. Name: _____
b. Address: _____
c. Phone/E-mail: _____

This section to be completed by Municipal staff.

OAM Responsibility Mechanism
 OAM responsibility for OAM is assured. Check all that apply:
 OAM Agreement
 Other mechanism that assigns responsibility (describe below): _____

STAFF ONLY - Reviewed by:
Community Development Department
Planning Division
Public Works Department
Engineering Division

Return form to: Public Works Department Date: _____

VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
 86 PAGE HILL ROAD, PALO ALTO, CA 94304
 T. 650.344.1500

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
 27 WINDHAM STREET, NEW YORK, NY 10013
 T. 212.424.5365

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
 1033 N. WOLFE ROAD, CUPERTINO, CA 95014
 T. 408.427.7390

LANDSCAPE ARCHITECTURE - OUR PARTNERSHIP LTD.
 192 S. INDEPENDENCE AVE., SUITE 1122, PHILADELPHIA, PA 19106
 T. 215.445.0201

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 1702 S. BRONCKHUIS BLVD., SUITE 200, CAMPBELL, CA 95008
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TRANSPORTATION ENGINEERING - HELP NORTH AMERICA LTD.
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 158 WEST 20TH STREET, 10TH FLOOR, NEW YORK, NY 10011
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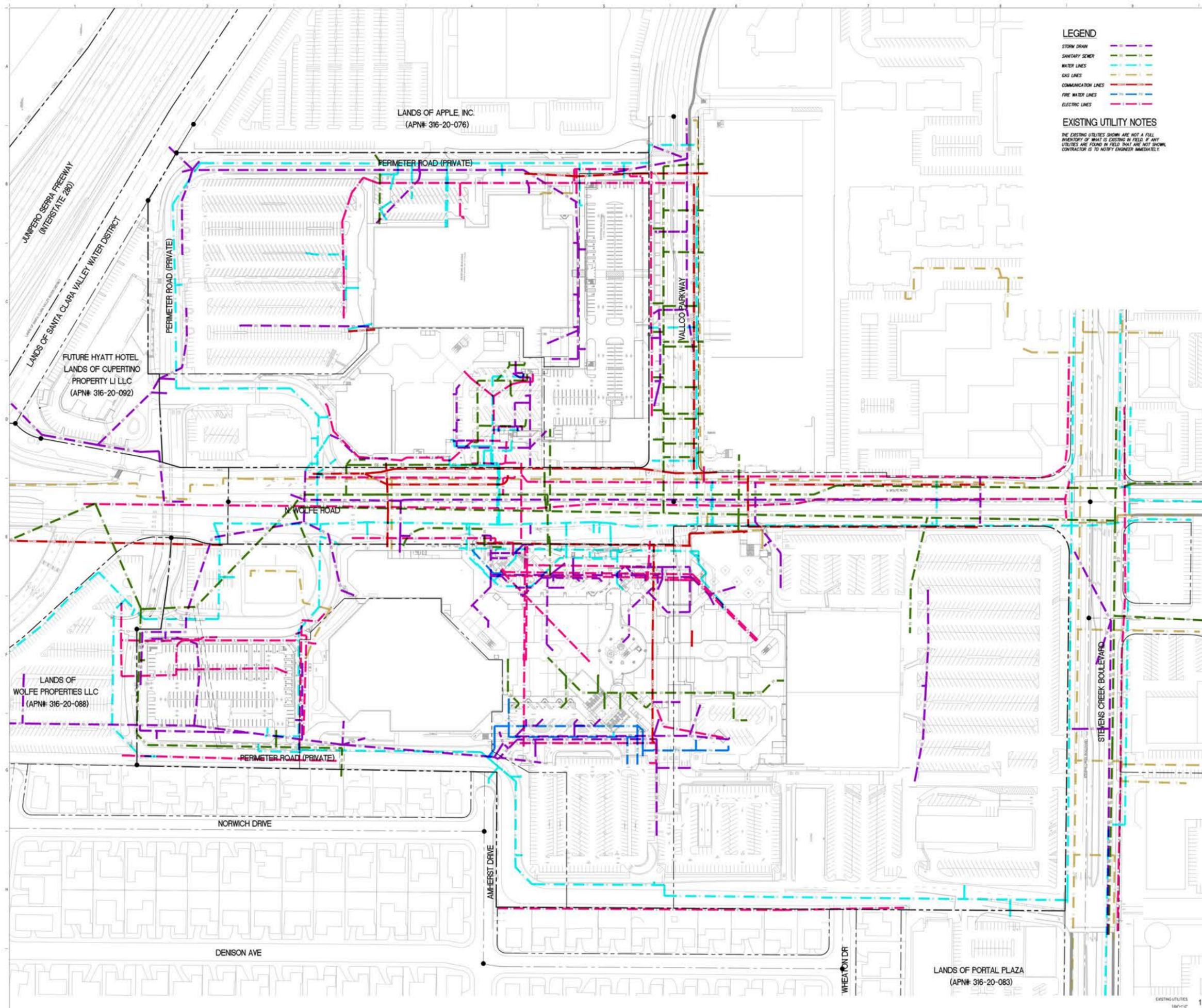
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 T. 215.981.1999

PARKING ENGINEERING - HATRY DESIGN, INC.
 2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95131
 T. 408.962.7900

- LEGEND**
- STORM DRAIN
 - SANITARY SEWER
 - WATER LINES
 - GAS LINES
 - COMMUNICATION LINES
 - FIRE WATER LINES
 - ELECTRIC LINES

EXISTING UTILITY NOTES

THE EXISTING UTILITIES SHOWN ARE NOT A FULL INVENTORY OF WHAT IS EXISTING IN FIELD. IF ANY UTILITIES ARE FOUND IN FIELD THAT ARE NOT SHOWN, CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY.

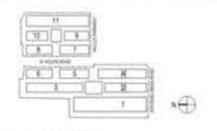


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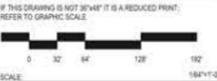
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SB-35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 1	SB-35 DEVELOPMENT APPLICATION	03/27/2018



KEY PLAN AND NORTH ARROW
 ARCHITECTS PROJECT NUMBER: 178851
 PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION



EXISTING UTILITIES

SHEET TITLE
P-0405
 SHEET NUMBER

VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
 860 PAGE HILL ROAD, PALO ALTO, CA 94304
 T. 650.344.1500

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
 85 UNDAUN STREET, NEW YORK, NY 10013
 T. 212.824.5382

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
 1325N WOLFE ROAD, CUPERTINO, CA 95014
 T. 408.427.7790

LANDSCAPE ARCHITECTURE - OUR PARTNERSHIP LTD
 192 S. INDEPENDENCE AVE. IN SUITE 1123, PHILADELPHIA, PA 19103
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 1617 JPK BLVD, SUITE 1885, PHILADELPHIA, PA 19103
 T. 215.981.1900

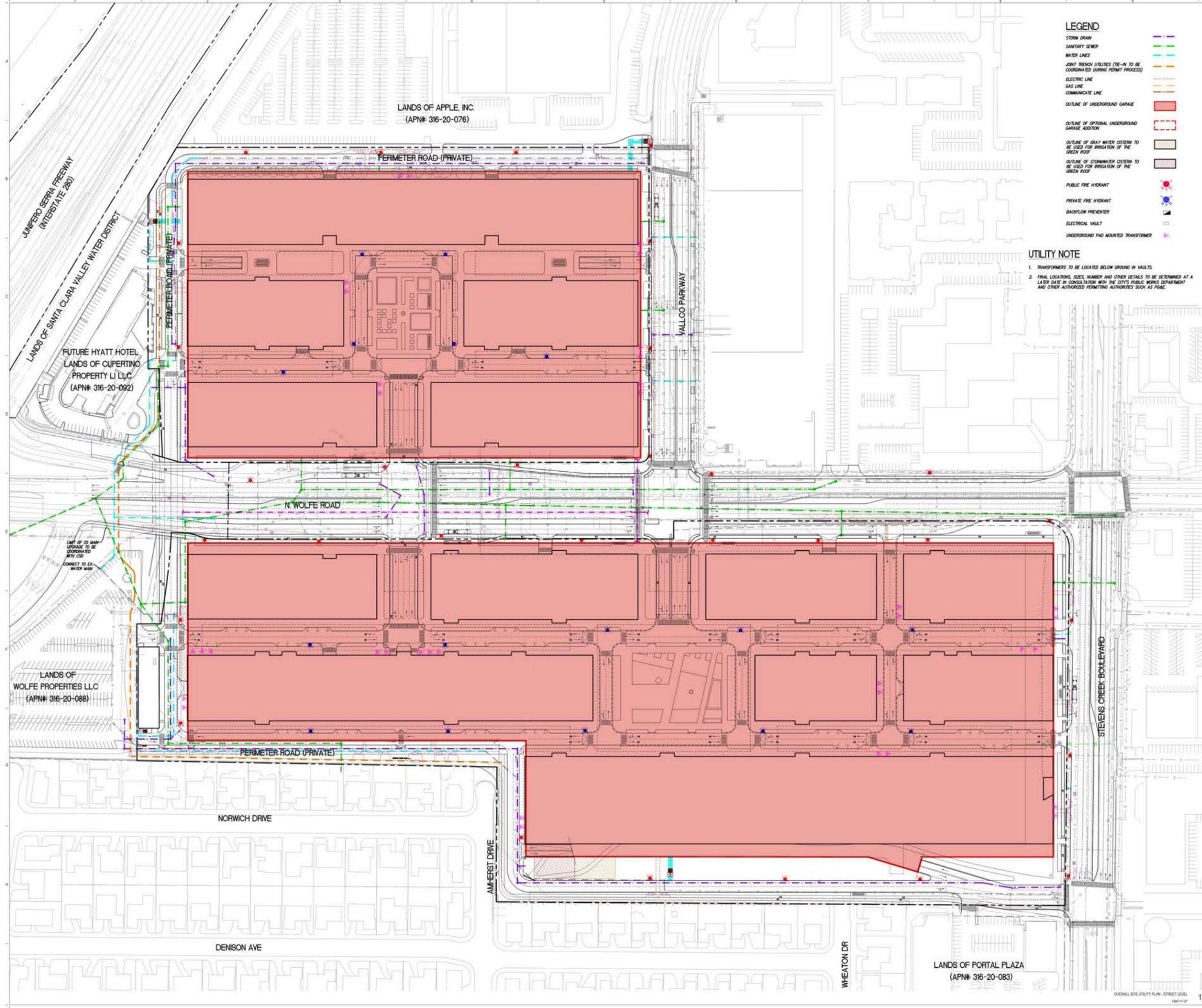
PARKING ENGINEERING - HATRY DESIGN INC.
 209 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95110
 T. 408.962.7900

LEGEND

STORM DRAIN	
SANITARY SEWER	
WATER LINES	
JOINT TRENCH UTILITIES (TIE-IN TO BE COORDINATED DURING PERMIT PROCESS)	
ELECTRIC LINE	
GAS LINE	
COMMUNICATE LINE	
OUTLINE OF UNDERGROUND GARAGE	
OUTLINE OF OPTIONAL UNDERGROUND GARAGE ADDITION	
OUTLINE OF GRAY WATER CISTERN TO BE USED FOR IRRIGATION OF THE GREEN ROOF	
OUTLINE OF STORMWATER CISTERN TO BE USED FOR IRRIGATION OF THE GREEN ROOF	
PUBLIC FIRE HYDRANT	
PRIVATE FIRE HYDRANT	
BACKFLOW PREVENTER	
ELECTRICAL VAULT	
UNDERGROUND PAD MOUNTED TRANSFORMER	

UTILITY NOTE

- TRANSFORMERS TO BE LOCATED BELOW GROUND IN VAULTS.
- FINAL LOCATIONS, SIZES, NUMBER AND OTHER DETAILS TO BE DETERMINED AT A LATER DATE IN CONSULTATION WITH THE CITY'S PUBLIC WORKS DEPARTMENT AND OTHER AUTHORIZED PERMITTING AUTHORITIES SUCH AS PG&E.

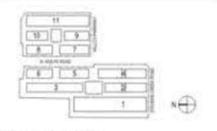


NOT FOR CONSTRUCTION

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SB-35 DEVELOPMENT APPLICATION

REV.	DESCRIPTION	DATE
REV 01	SB-35 DEVELOPMENT APPLICATION	03/27/2018



KEY PLAN AND NORTH ARROW

ARCHITECT'S PROJECT NUMBER: 208011

PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION

IF THIS DRAWING IS NOT 3/4" = 1' IT IS A REDUCED PRINT. REFER TO GRAPHIC SCALE.

SCALE: 1/8" = 1'-0"

SITE UTILITY PLAN - STREET LEVEL

SHEET TITLE: P-0406

SHEET NUMBER: 1

DATE: 03/27/2018

LANDS OF APPLE, INC.
 (APN# 316-20-076)

FUTURE HYATT HOTEL
 LANDS OF CUPERTINO
 PROPERTY L LLC
 (APN# 316-20-092)

LANDS OF
 WOLFE PROPERTIES LLC
 (APN# 316-20-088)

LANDS OF PORTAL PLAZA
 (APN# 316-20-083)

OVERALL SITE UTILITY PLAN - STREET LEVEL
 18"x11"-0"

VALLCO TOWN CENTER

OWNER: VALLCO PROPERTY OWNER LLC
 185 PRUCE WELBORN ROAD, PHOENIX, AZ, USA 85004
 T. 602.344.1500

ARCHITECTURE: RAFAEL VINOY ARCHITECTS
 101 W. WALTON ROAD, CLEVELAND, OH 44115
 T. 216.824.5000

ARCHITECTURE: RAFAEL VINOY ARCHITECTS
 101 W. WALTON ROAD, CLEVELAND, OH 44115
 T. 216.824.5000

LANDSCAPE ARCHITECTURE: JOHN PARTNERSHIP LTD.
 130 S. INDEPENDENCE MALL W. SUITE 1113, PHILADELPHIA, PA 19106
 T. 480.427.7000

LANDSCAPE ARCHITECTURE: JOHN PARTNERSHIP LTD.
 130 S. INDEPENDENCE MALL W. SUITE 1113, PHILADELPHIA, PA 19106
 T. 480.427.7000

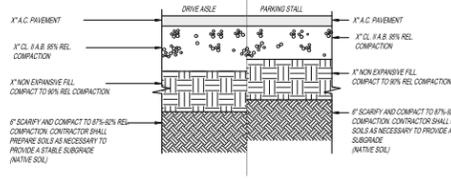
CIVIL: SANDER CIVIL ENGINEERS SURVEYORS PLANNERS, INC.
 1700 S. WINCHESTER BLVD. SUITE 200, CLAMPELL, CA 95668
 T. 408.438.0900

TRANSPORTATION ENGINEERING: ASEP NORTH AMERICA, LTD.
 140 MISSISSIPPI STREET SUITE 700 SAN FRANCISCO CA 94105
 T. 415.937.9445

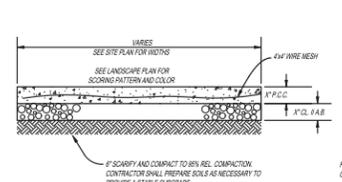
LIGHTING: ONE LIX STUDIO
 158 WEST 25TH STREET, 10TH FLOOR, NEW YORK, NY 10001
 T. 212.201.5700

SCENIC: DEKAT
 1617 JFK BLVD. SUITE 1065, PHILADELPHIA, PA 19103
 T. 215.561.1500

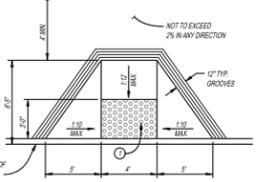
PARKING ENGINEERING: WATRY DESIGN, INC.
 3099 GATEWAY PLACE, SUITE 506, SAN JOSE, CA 95118
 T. 408.392.7900



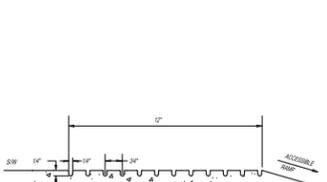
ASPHALT PAVEMENT SECTION (OFF PODIUM)
N.T.S.



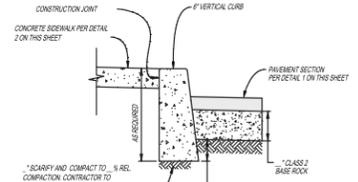
CONCRETE SIDEWALK (OFF PODIUM)
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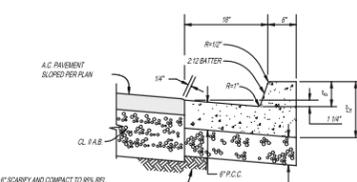
ACCESSIBLE RAMP
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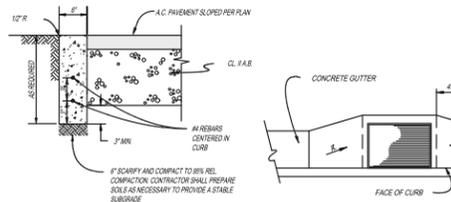
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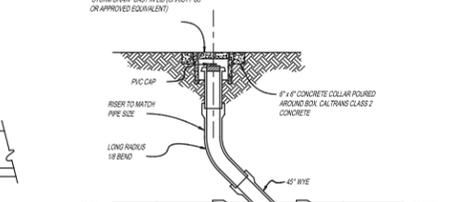
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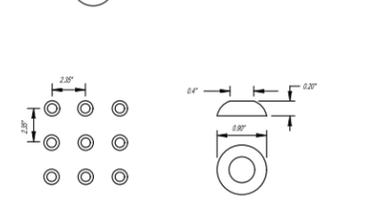
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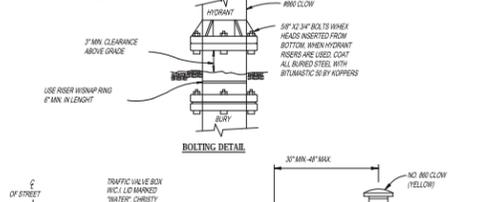
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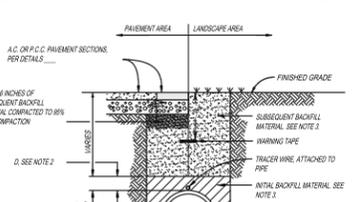
CLEANOUT WITH LATERAL STUB
N.T.S.



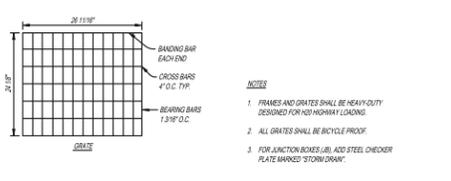
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PER ADA STANDARD FOR ACCESSIBLE DESIGN SECTION 4.29.2
DETECTABLE WARNING SURFACE



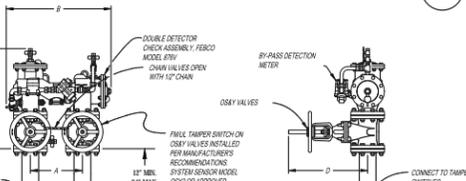
PRIVATE FIRE HYDRANT ASSEMBLY DETAIL (OFF PODIUM)
N.T.S.



TRENCH DETAIL
N.T.S.



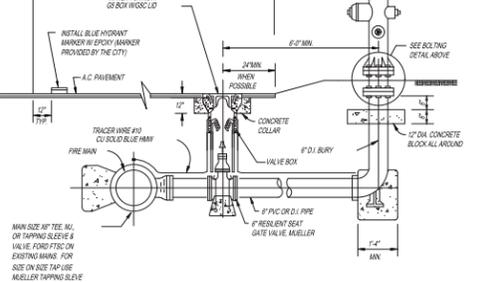
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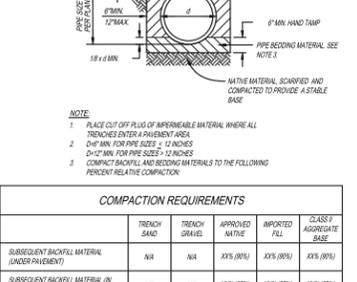
FIRE SERVICE BACKFLOW PREVENTOR
N.T.S.



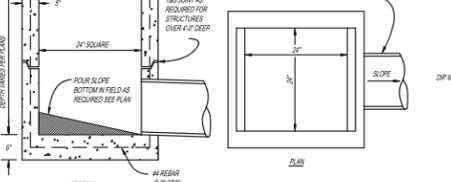
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PER ADA STANDARD FOR ACCESSIBLE DESIGN SECTION 4.29.2
DETECTABLE WARNING SURFACE



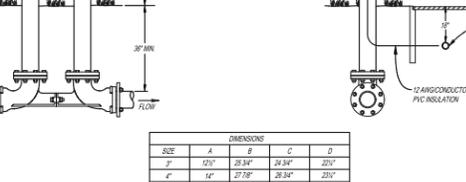
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N.T.S.



TRENCH DETAIL
N.T.S.



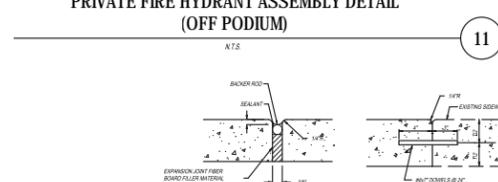
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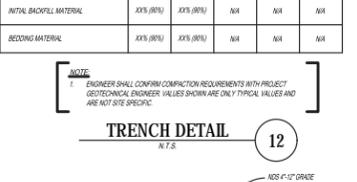
FIRE SERVICE BACKFLOW PREVENTOR
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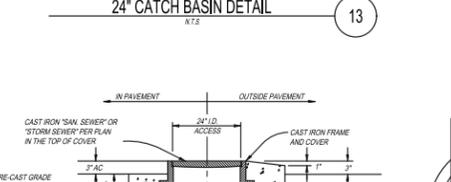
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DETECTABLE WARNING SURFACE



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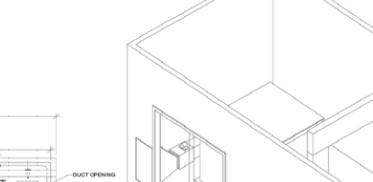
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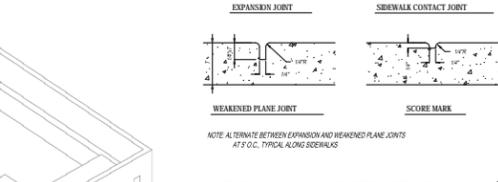
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N.T.S.



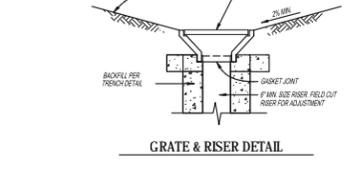
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N.T.S.



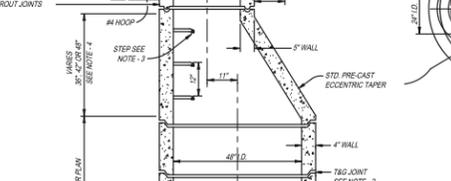
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DETECTABLE WARNING SURFACE



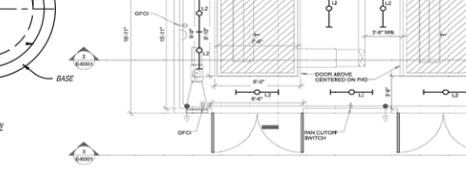
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N.T.S.



TRENCH DETAIL
N.T.S.



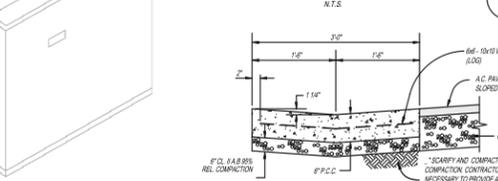
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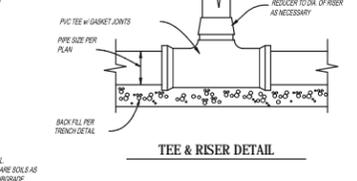
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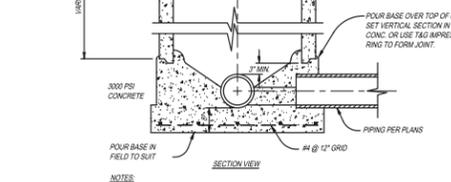
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DETECTABLE WARNING SURFACE



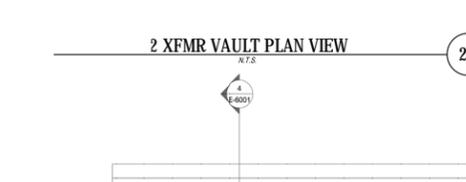
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TRENCH DETAIL
N.T.S.



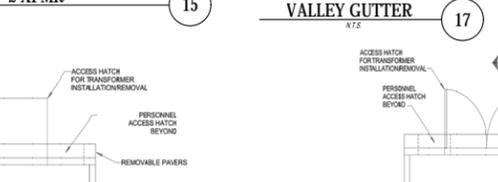
TYPICAL MANHOLE DETAIL
N.T.S.



FIRE SERVICE BACKFLOW PREVENTOR
N.T.S.



RAISED TRUNCATED DOME PATTERN
PER ADA STANDARD FOR ACCESSIBLE DESIGN SECTION 4.29.2
DETECTABLE WARNING SURFACE



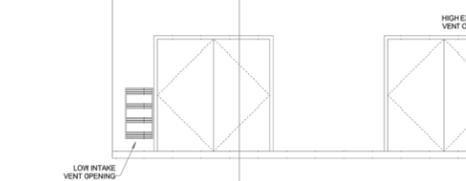
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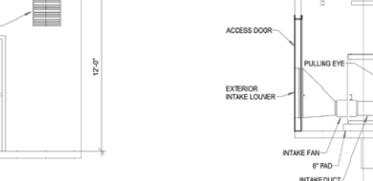
TRENCH DETAIL
N.T.S.



TYPICAL MANHOLE DETAIL
N.T.S.



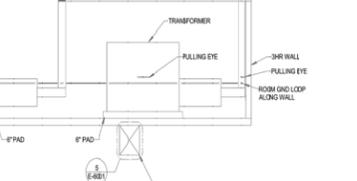
FIRE SERVICE BACKFLOW PREVENTOR
N.T.S.



RAISED TRUNCATED DOME PATTERN
PER ADA STANDARD FOR ACCESSIBLE DESIGN SECTION 4.29.2
DETECTABLE WARNING SURFACE



PRIVATE FIRE HYDRANT ASSEMBLY DETAIL (OFF PODIUM)
N.T.S.



TRENCH DETAIL
N.T.S.



TYPICAL MANHOLE DETAIL
N.T.S.



FIRE SERVICE BACKFLOW PREVENTOR
N.T.S.



RAISED TRUNCATED DOME PATTERN
PER ADA STANDARD FOR ACCESSIBLE DESIGN SECTION 4.29.2
DETECTABLE WARNING SURFACE



PRIVATE FIRE HYDRANT ASSEMBLY DETAIL (OFF PODIUM)
N.T.S.



TRENCH DETAIL
N.T.S.



TYPICAL MANHOLE DETAIL
N.T.S.



FIRE SERVICE BACKFLOW PREVENTOR
N.T.S.



RAISED TRUNCATED DOME PATTERN
PER ADA STANDARD FOR ACCESSIBLE DESIGN SECTION 4.29.2
DETECTABLE WARNING SURFACE



PRIVATE FIRE HYDRANT ASSEMBLY DETAIL (OFF PODIUM)
N.T.S.



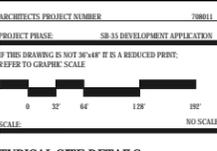
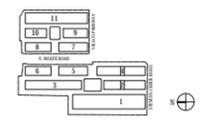
TRENCH DETAIL
N.T.S.

COMPACTION REQUIREMENTS					
	TRENCH SAND	TRENCH GRAVEL	APPROVED NATIVE FILL	IMPORTED FILL	CLASS 5 AGGREGATE BASE
SUBSEQUENT BACKFILL MATERIAL (UNDER PAVEMENT)	NA	NA	XX(,85%)	XX(,85%)	XX(,85%)
SUBSEQUENT BACKFILL MATERIAL (IN LANDSCAPE)	NA	NA	XX(,85%)	XX(,85%)	XX(,85%)
INITIAL BACKFILL MATERIAL	XX(,85%)	XX(,85%)	NA	NA	NA
RECORD MATERIAL	XX(,85%)	XX(,85%)	NA	NA	NA



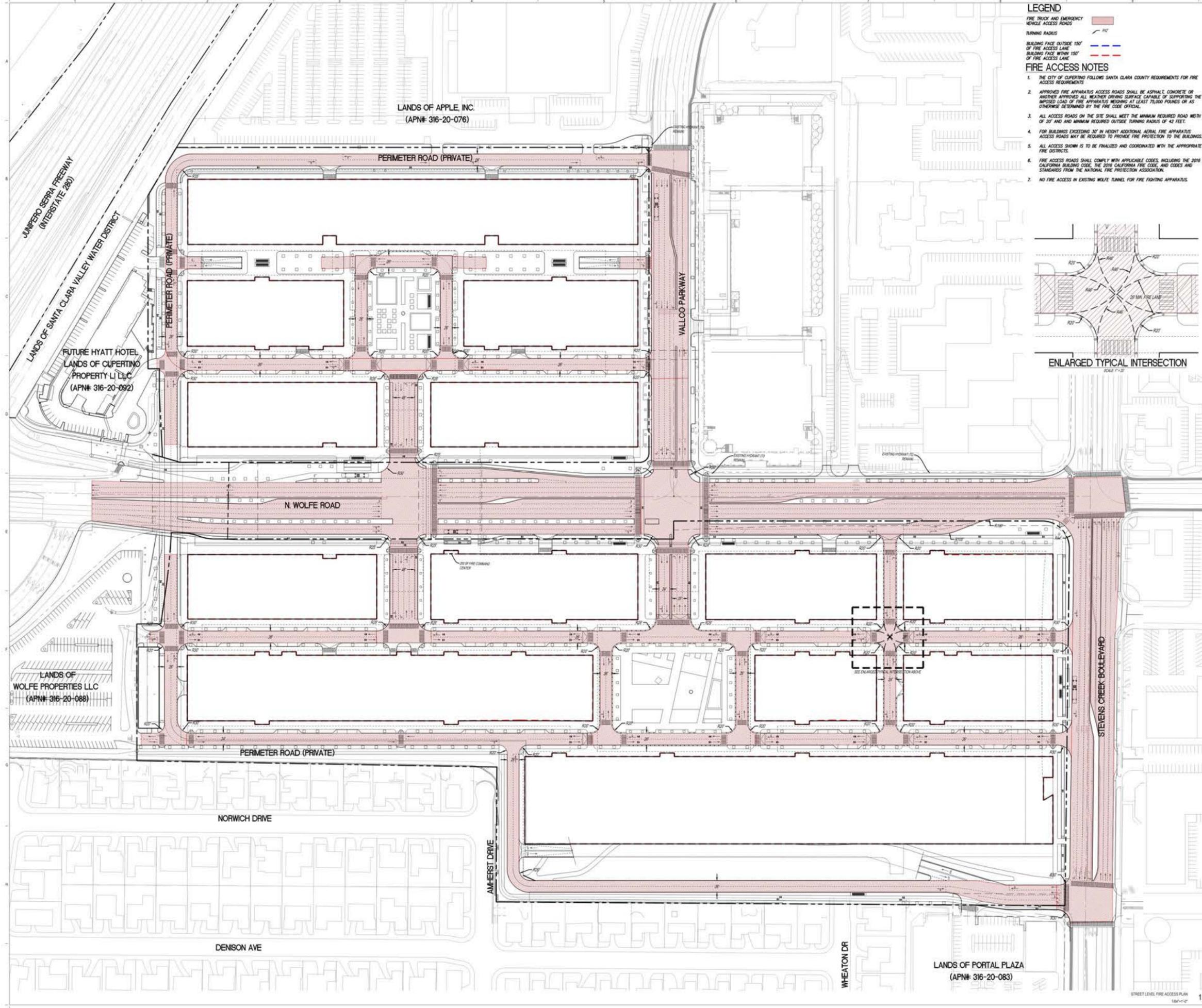
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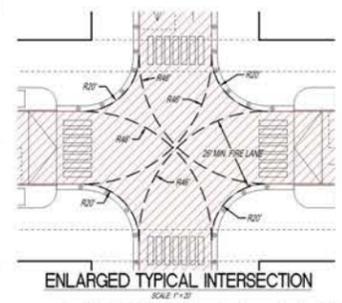


TYPICAL SITE DETAILS

SCALE: 1/8\"/>



- LEGEND**
- FIRE TRUCK AND EMERGENCY VEHICLE ACCESS ROADS
 - TURNING RADIUS
 - BUILDING FACE OUTSIDE 150' OF FIRE ACCESS LANE
 - BUILDING FACE WITHIN 150' OF FIRE ACCESS LANE
- FIRE ACCESS NOTES**
1. THE CITY OF CUPERTINO FOLLOWS SANTA CLARA COUNTY REQUIREMENTS FOR FIRE ACCESS REQUIREMENTS.
 2. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE ASPHALT, CONCRETE OR ANOTHER APPROVED ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS HOODING AT LEAST 75,000 POUNDS OR AS OTHERWISE DETERMINED BY THE FIRE CODE OFFICIAL.
 3. ALL ACCESS ROADS ON THE SITE SHALL MEET THE MINIMUM REQUIRED ROAD WIDTH OF 20' AND MINIMUM REQUIRED OUTSIDE TURNING RADIUS OF 42 FEET.
 4. FOR BUILDINGS EXCEEDING 30' IN HEIGHT ADDITIONAL AERIAL FIRE APPARATUS ACCESS ROADS MAY BE REQUIRED TO PROVIDE FIRE PROTECTION TO THE BUILDINGS.
 5. ALL ACCESS ROADS IS TO BE FINALIZED AND COORDINATED WITH THE APPROPRIATE FIRE DISTRICTS.
 6. FIRE ACCESS ROADS SHALL COMPLY WITH APPLICABLE CODES, INCLUDING THE 2016 CALIFORNIA BUILDING CODE, THE 2016 CALIFORNIA FIRE CODE, AND CODES AND STANDARDS FROM THE NATIONAL FIRE PROTECTION ASSOCIATION.



VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
860 PAGE HILL ROAD, PALO ALTO, CA 94304
T. 650.344.1500

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
27 VANDAM STREET, NEW YORK, NY 10013
T. 212.424.5365

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
1033 N. WOLFE ROAD, CUPERTINO, CA 95014
T. 408.427.7390

LANDSCAPE ARCHITECTURE - OUR PARTNERSHIP LTD.
100 S. INDEPENDENCE AVE. SUITE 100, PHILADELPHIA, PA 19106
T. 215.445.0200

CIVIL - SANDS CIVIL ENGINEERS SURVIVORS PLANNERS, INC.
1700 S. BRONCKHOFF BLVD. SUITE 200, CAMPBELL, CA 95008
T. 408.636.0390

TRANSPORTATION ENGINEERING - HELP NORTH AMERICA LTD.
860 WILSON STREET SUITE 700 SAN FRANCISCO CA 94105
T. 415.957.9445

LIGHTING - ONE LUMI STUDIO
150 WEST 20TH STREET, 10TH FLOOR, NEW YORK, NY 10011
T. 212.201.0790

SONORISE - E&T
1617 JPK BLVD. SUITE 1885, PHILADELPHIA, PA 19103
T. 215.981.1999

PARKING ENGINEERING - HATRY DESIGN, INC.
2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95116
T. 408.962.7900

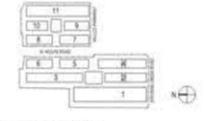


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SB-35 DEVELOPMENT APPLICATION

REV.	DESCRIPTION	DATE
REV. 1	SB-35 DEVELOPMENT APPLICATION	03/27/2018



ARCHITECTS PROJECT NUMBER: 1788151
PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION
IF THIS DRAWING IS NOT 30" WIDE IT IS A REDUCED PRINT. REFER TO GRAPHIC SCALE.

SCALE: 1/8"=1'-0"

FIRE ACCESS PLAN - STREET LEVEL

SHEET TITLE:
P-0408
SHEET NUMBER: 1

LANDS OF PORTAL PLAZA
(APN# 316-20-083)

VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
 86 PAGE HILL ROAD, PALO ALTO, CA 94304
 T. 650.344.1500

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
 27 WINDHAM STREET, NEW YORK, NY 10013
 T. 212.424.5365

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
 1033 N. WOLFE ROAD, CUPERTINO, CA 95014
 T. 408.427.7390

LANDSCAPE ARCHITECTURE - OLIN PARTNERSHIP LTD.
 150 S. INDEPENDENCE AVE., SUITE 1100, PHILADELPHIA, PA 19106
 T. 215.445.0200

CIVIL - SANDS CIVIL ENGINEERS SURVIVORS PLANNERS, INC.
 1705 S. BRONCKSTEEN BLVD., SUITE 200, CAMPBELL, CA 95008
 T. 408.636.0390

TRANSPORTATION ENGINEERING - ARUP NORTH AMERICA LTD.
 860 BLOSSOM STREET, SUITE 700, SAN FRANCISCO, CA 94103
 T. 415.957.9445

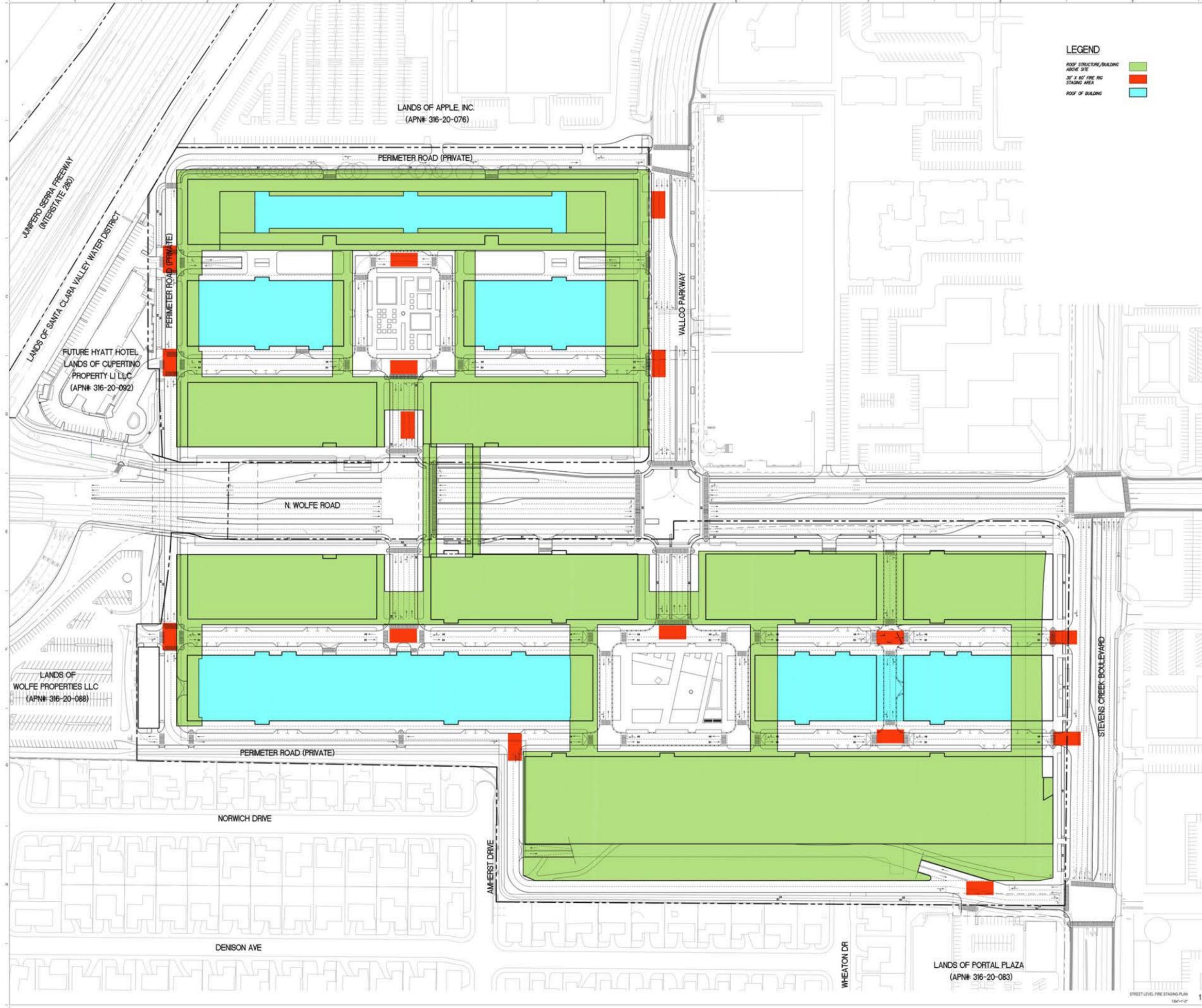
LIGHTING - ONE LUMI STUDIO
 150 WEST 20TH STREET, 10TH FLOOR, NEW YORK, NY 10011
 T. 212.201.0790

SCULPTURE - ELLIOT
 1617 JFK BLVD., SUITE 1885, PHILADELPHIA, PA 19103
 T. 215.981.1990

PARKING ENGINEERING - WATRY DESIGN, INC.
 2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95110
 T. 408.962.7900

LEGEND

- ROOF STRUCTURE, BUILDING ABOVE SITE ■
- 30' X 60' FIRE RIG STAGING AREA ■
- ROOF OF BUILDING ■

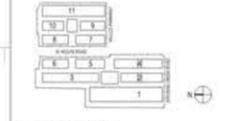


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SB -35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 1	SB-35 DEVELOPMENT APPLICATION	03/27/2018



KEY PLAN AND NORTH ARROW

ARCHITECT'S PROJECT NUMBER: 178811

PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION

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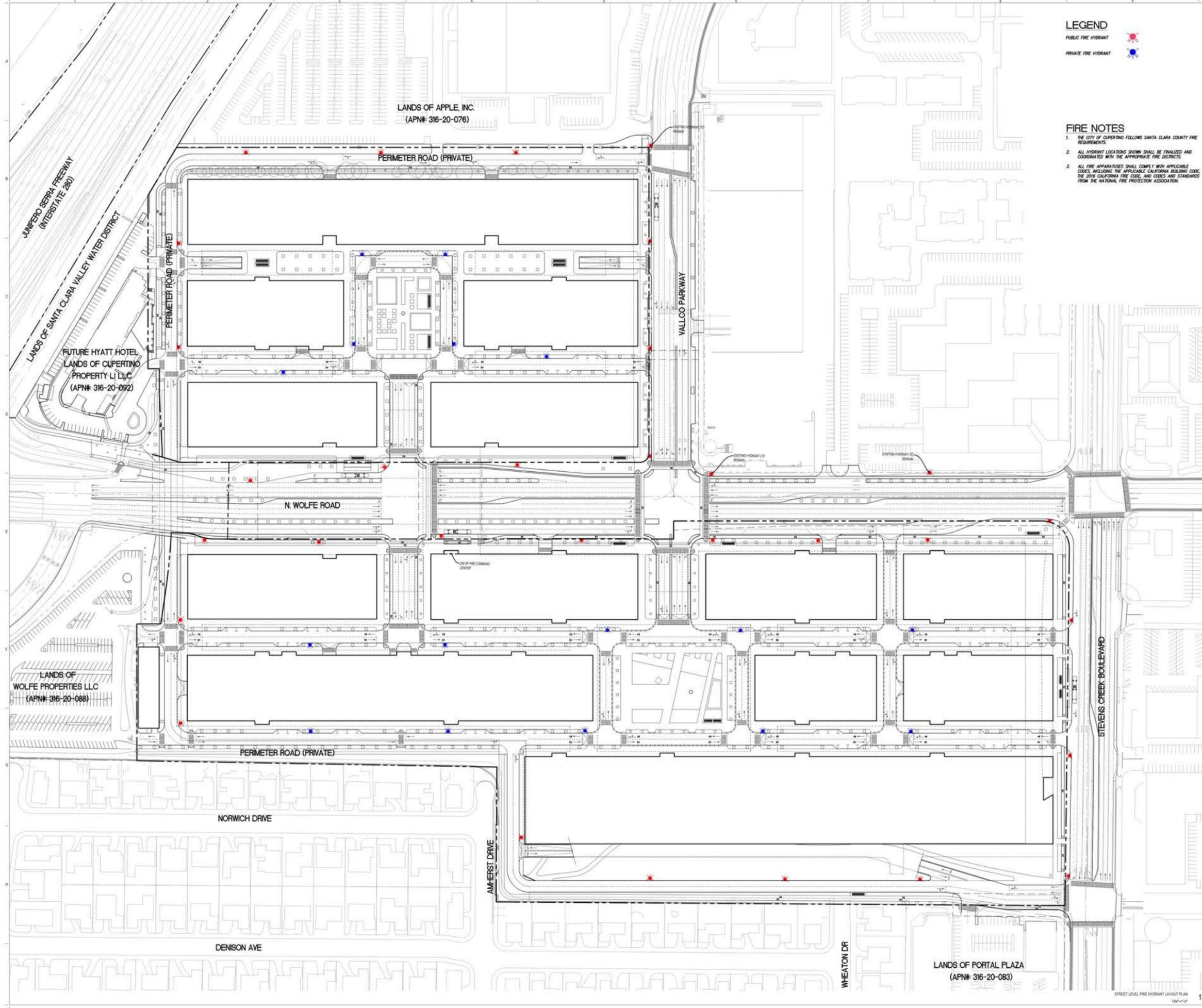
SCALE: 1/8" = 1'-0"

FIRE STAGING PLAN - STREET LEVEL

SHEET TITLE: **P-0409**

SHEET NUMBER: 1

DATE: 03/27/2018



LEGEND

PUBLIC FIRE HYDRANT

PRIVATE FIRE HYDRANT

- FIRE NOTES**
1. THE CITY OF CUPERTINO FOLLOWS SANTA CLARA COUNTY FIRE REQUIREMENTS.
 2. ALL HYDRANT LOCATIONS SHOWN SHALL BE FINALIZED AND COORDINATED WITH THE APPROPRIATE FIRE DISTRICTS.
 3. ALL FIRE APPARATUS SHALL COMPLY WITH APPLICABLE CODES, INCLUDING THE APPLICABLE CALIFORNIA BUILDING CODE, THE 2016 CALIFORNIA FIRE CODE, AND CODES AND STANDARDS FROM THE NATIONAL FIRE PROTECTION ASSOCIATION.

VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
865 PAGE HILL ROAD, PALO ALTO, CA 94304
T. 650.344.1500

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
25 VANDAM STREET, NEW YORK, NY 10013
T. 212.424.5365

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
1032 N. WOLFE ROAD, CUPERTINO, CA 95014
T. 408.427.7390

LANDSCAPE ARCHITECTURE - OUR PARTNERSHIP LTD.
100 S. INDEPENDENCE AVE., SUITE 100, PHILADELPHIA, PA 19106
T. 215.445.0201

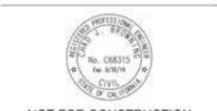
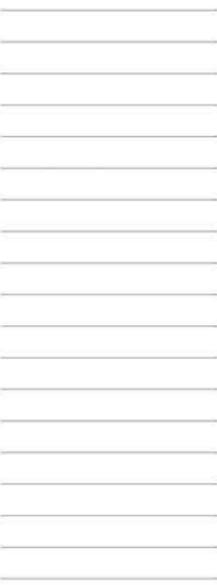
CIVIL - SANDS CIVIL ENGINEERS SURVIVORS PLANNERS, INC.
1705 S. BRONCK STREET, SUITE 200, CAMPBELL, CA 95008
T. 408.636.0390

TRANSPORTATION ENGINEERING - HELP NORTH AMERICA LTD.
865 WILSON STREET, SUITE 700, SAN FRANCISCO, CA 94105
T. 415.957.9445

LIGHTING - ONE LUX STUDIO
159 WEST 20TH STREET, 10TH FLOOR, NEW YORK, NY 10011
T. 212.201.0790

SIGNAGE - E&T
1617 JFK BLVD, SUITE 1885, PHILADELPHIA, PA 19103
T. 215.611.1990

PARKING ENGINEERING - HATRY DESIGN, INC.
2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95110
T. 408.962.7900

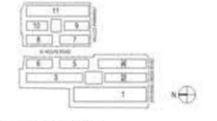


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SB-35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 1	SB-35 DEVELOPMENT APPLICATION	03/27/2018



KEY PLAN AND NORTH ARROW

ARCHITECTS PROJECT NUMBER: 178951

PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION

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SCALE: 0 32 64 128 192 184"=1'-0"

FIRE HYDRANT LAYOUT PLAN - STREET LEVEL

SHEET TITLE

P-0410

SHEET NUMBER

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JUNIPERO BERRA FREEWAY
(INTERSTATE 280)

FUTURE HYATT HOTEL
LANDS OF CUPERTINO
PROPERTY L.L.C.
(APN# 316-20-092)

LANDS OF APPLE, INC.
(APN# 316-20-076)

LANDS OF WOLFE PROPERTIES LLC
(APN# 316-20-088)

LANDS OF PORTAL PLAZA
(APN# 316-20-083)

VALLCO TOWN CENTER

OWNER - VALLCO PROPERTY OWNER LLC
 865 PAGE HILL ROAD, PALO ALTO, CA 94304
 T. 650.344.1300

ARCHITECTURE - RAFAEL VINOY ARCHITECTS
 85 VANDERBILT STREET, NEW YORK, NY 10013
 T. 212.624.5360

ARCHITECTURE - RAFAEL VINOY ARCHITECTS
 1033 N. WOLFE ROAD, CUPERTINO, CA 95014
 T. 408.427.7390

LANDSCAPE ARCHITECTURE - OLIN PARTNERSHIP LTD.
 190 S. INDEPENDENCE MALL, SUITE 100, PHILADELPHIA, PA 19106
 T. 215.440.0200

CIVIL - SANDS CIVIL ENGINEERS SURVEYORS PLANNERS, INC.
 1705 S. BRIDGE STREET, SUITE 300, CAMPBELL, CA 95008
 T. 408.636.0900

TRANSPORTATION ENGINEERING - ARUP NORTH AMERICA LTD.
 860 REDWOOD STREET, SUITE 700, SAN FRANCISCO, CA 94109
 T. 415.957.8445

LIGHTING - ONE LULU STUDIO
 158 WEST 29TH STREET, 10TH FLOOR, NEW YORK, NY 10001
 T. 212.201.0790

SCAFFOLD - EX-IT
 1617 JFK BLVD, SUITE 1885, PHILADELPHIA, PA 19103
 T. 215.981.1950

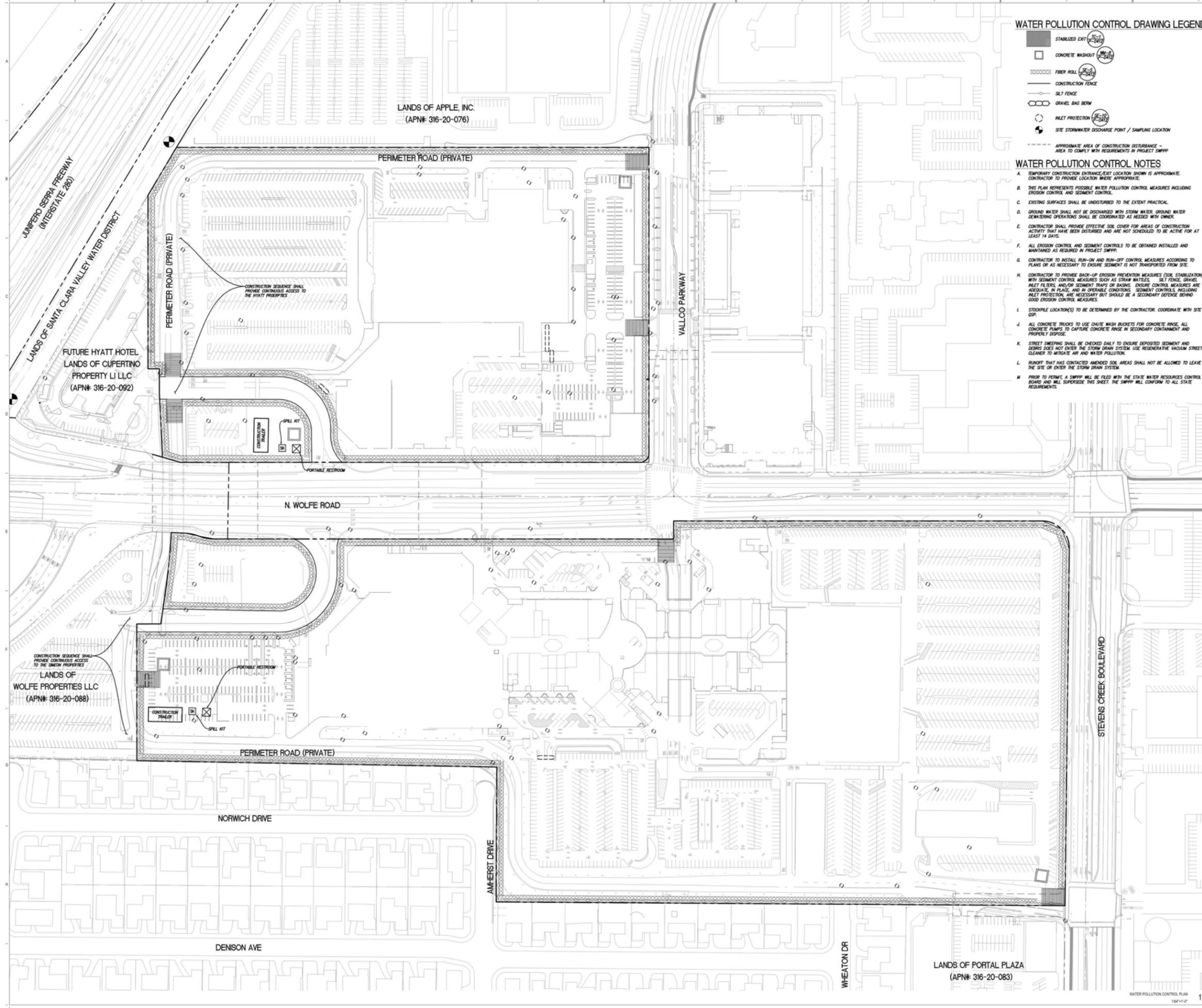
FARMING ENGINEERING - WATRY DESIGN, INC.
 2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95110
 T. 408.962.7900

WATER POLLUTION CONTROL DRAWING LEGEND

- STABILIZED EXIT (SC-1)
- CONCRETE WASHOUT (CW-1)
- FIBER ROLL (FR-1)
- CONSTRUCTION FENCE
- SILT FENCE
- GRAVEL BAG BERM
- INLET PROTECTION (IP-1)
- SITE STORMWATER DISCHARGE POINT / SAMPLING LOCATION
- APPROXIMATE AREA OF CONSTRUCTION DISTURBANCE - AREA TO COMPLY WITH REQUIREMENTS IN PROJECT SWPPP

WATER POLLUTION CONTROL NOTES

- A. TEMPORARY CONSTRUCTION ENTRANCE/EXIT LOCATION SHOWN IS APPROXIMATE. CONTRACTOR TO PROVIDE LOCATION WHERE APPROPRIATE.
- B. THIS PLAN REPRESENTS POSSIBLE WATER POLLUTION CONTROL MEASURES INCLUDING EROSION CONTROL AND SEDIMENT CONTROL.
- C. EXISTING SURFACES SHALL BE UNDISTURBED TO THE EXTENT PRACTICAL.
- D. GROUND WATER SHALL NOT BE DISCHARGED WITH STORM WATER. GROUND WATER Dewatering OPERATIONS SHALL BE COORDINATED AS NEEDED WITH OWNER.
- E. CONTRACTOR SHALL PROVIDE EFFECTIVE SOIL COVER FOR AREAS OF CONSTRUCTION ACTIVITY THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE ACTIVE FOR AT LEAST 14 DAYS.
- F. ALL EROSION CONTROL AND SEDIMENT CONTROLS TO BE OBTAINED INSTALLED AND MAINTAINED AS REQUIRED IN PROJECT SWPPP.
- G. CONTRACTOR TO INSTALL RUN-ON AND RUN-OFF CONTROL MEASURES ACCORDING TO PLANS OR AS NECESSARY TO ENSURE SEDIMENT IS NOT TRANSPORTED FROM SITE.
- H. CONTRACTOR TO PROVIDE BACK-UP EROSION PREVENTION MEASURES (SOIL STABILIZATION WITH SEDIMENT CONTROL MEASURES SUCH AS STORM MATS, SILT FENCE, GRAVEL INLET FILTERS, AND/OR SEDIMENT TRAPS OR BASINS). ENSURE CONTROL MEASURES ARE ADEQUATE IN PLACE, AND IN OPERABLE CONDITIONS. SEDIMENT CONTROLS, INCLUDING INLET PROTECTION, ARE NECESSARY BUT SHOULD BE A SECONDARY DEFENSE BEHIND GOOD EROSION CONTROL MEASURES.
- I. STOCKPILE LOCATION(S) TO BE DETERMINED BY THE CONTRACTOR. COORDINATE WITH SITE GP.
- J. ALL CONCRETE TRUCKS TO USE CHUTE WASH BUCKETS FOR CONCRETE WASH. ALL CONCRETE PANS TO CAPTURE CONCRETE WASH IN SECONDARY CONTAINMENT AND PROPERLY DISPOSE.
- K. STREET SWEEPING SHALL BE CHECKED DAILY TO ENSURE DEPOSITED SEDIMENT AND DEBRIS DOES NOT ENTER THE STORM DRAIN SYSTEM. USE REGENERATIVE VACUUM STREET CLEANER TO MITIGATE AIR AND WATER POLLUTION.
- L. RUNOFF THAT HAS CONTACTED AMENDED SOIL AREAS SHALL NOT BE ALLOWED TO LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
- M. PRIOR TO PERMIT, A SWPPP WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD AND WILL SUPERSEDE THIS SHEET. THE SWPPP WILL CONFORM TO ALL STATE REQUIREMENTS.

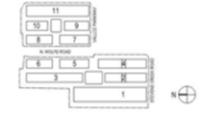


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SB-35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 0	SB-35 DEVELOPMENT APPLICATION	03/27/2018



ARCHITECTS PROJECT NUMBER: 788611
 PROJECT PHASE: SB-35 DEVELOPMENT APPLICATION
 IF THIS DRAWING IS NOT 36" X 48" IT IS A REDUCED PRINT. REFER TO GRAPHIC SCALE.

SCALE: 1/8" = 1'-0"

WATER POLLUTION CONSTRUCTION PLAN

SHEET TITLE: **P-0411**

SHEET NUMBER: 1

LANDS OF PORTAL PLAZA
 (APN# 316-20-083)

OWNER - VALLCO PROPERTY OWNER LLC
865 PAGE HILL ROAD, PALO ALTO, CA 94304
T. 650-344-1300

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
80 VANDAM STREET, NEW YORK, NY 10013
T. 212-624-5360

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
1033 N. WOLFE ROAD, CUPERTINO, CA 95014
T. 408-627-7390

LANDSCAPE ARCHITECTURE - OLIN PARTNERSHIP LTD.
1913 S. INDEPENDENCE HALL, SUITE 100, PHILADELPHIA, PA 19106
T. 215-440-0320

CIVIL - SANDS CIVIL ENGINEERS SURVEYORS PLANNERS, INC.
1705 S. BRONCKSTEEN BLVD., SUITE 300, CAMPBELL, CA 95008
T. 408-636-0900

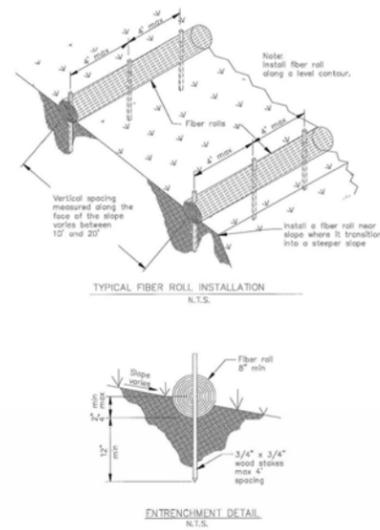
TRANSPORTATION ENGINEERING - ARUP NORTH AMERICA LTD.
860 MESSINA STREET, SUITE 700, SAN FRANCISCO, CA 94105
T. 415-957-8445

LIGHTING - ONE LUMI STUDIO
158 WEST 25TH STREET, 10TH FLOOR, NEW YORK, NY 10001
T. 212-201-0790

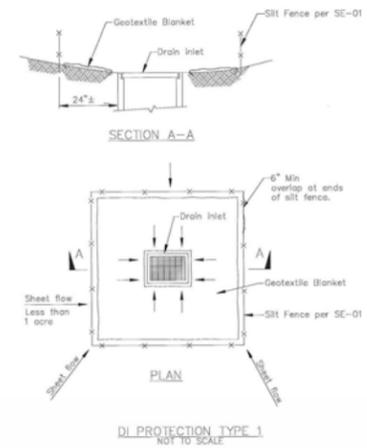
SCAFFOLD - EXIT
1617 JFK BLVD., SUITE 1805, PHILADELPHIA, PA 19103
T. 215-981-1950

FARMING ENGINEERING - HATRY DESIGN, INC.
2099 GATEWAY PLACE, SUITE 500, SAN JOSE, CA 95110
T. 408-982-7900

Fiber Rolls SE-5



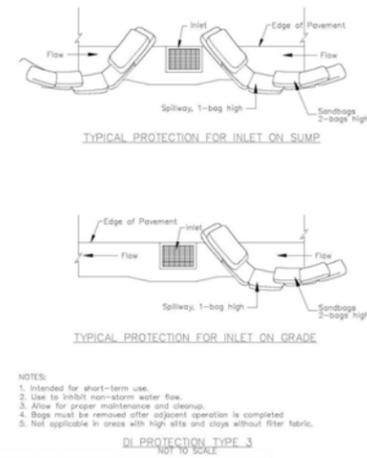
Storm Drain Inlet Protection SE-10



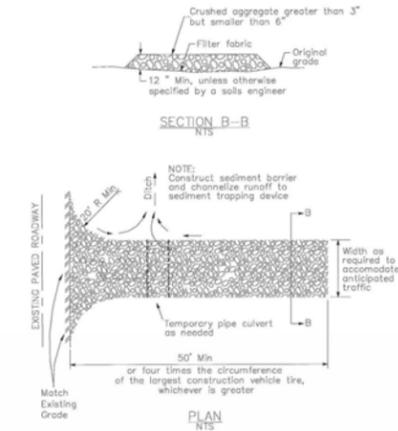
NOTES:

1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
2. Not applicable in paved areas.
3. Not applicable with concentrated flows.

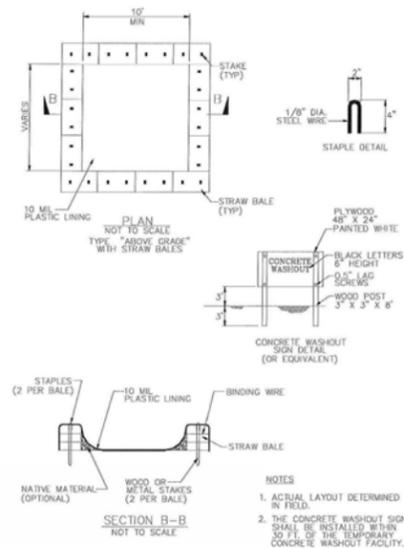
SE-10 Storm Drain Inlet Protection



Stabilized Construction Entrance/Exit TC-1



Concrete Waste Management WM-8



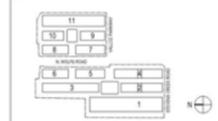
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SB-35 DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE
REV 0	SB-35 DEVELOPMENT APPLICATION	02/27/2018



WATER POLLUTION CONTROL DETAIL

SHEET NUMBER: **P-0412**

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OWNER - VALLCO PROPERTY OWNER LLC
800 RAGE HILL ROAD, PALMDALE, CA 93550
T. 800-344-1300

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
65 VANDERBILT STREET, NEW YORK, NY 10013
T. 212-624-5362

ARCHITECTURE - RAFAEL VINLY ARCHITECTS
10334 HOLLYWOOD BLVD, CUPERTINO, CA 95014
T. 408-427-7300

LANDSCAPE ARCHITECTURE - OUN PARTNERSHIP LTD
1001 W. KENNEDY BLVD., SUITE 100, PHILADELPHIA, PA 19106
T. 215-440-0200

CIVIL - SANDS CIVIL ENGINEERS SURVEYORS PLANNERS INC.
170 S. BANCROFT BLVD., SUITE 200, CAMPBELL, CA 95008
T. 408-638-0800

TRANSPORTATION ENGINEERING - ARUP NORTH AMERICA LTD
860 MIDCOT STREET, SUITE 700, SAN FRANCISCO, CA 94102
T. 415-957-9442

GEOTECHNICAL ENGINEERING - ONE LEE STREET
150 WEST 20TH STREET, 15TH FLOOR, NEW YORK, NY 10011
T. 212-201-0790

GEOTECHNICAL ENGINEERING - ARUP NORTH AMERICA LTD
1617 JPK BLVD., SUITE 1800, PHILADELPHIA, PA 19103
T. 215-961-1900

PAVING ENGINEERING - HATCO DESIGN, INC.
208 GATHERLY PLACE, SUITE 500, SAN JOSE, CA 95110
T. 408-962-7900

In the Santa Clara Valley, storm drains flow directly to our local creeks, and on to San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bayslands. Proper management of construction sites reduces pollution significantly. This sheet summarizes the "Best Management Practices" (BMPs) for storm water pollution prevention.

ORDINANCE OF THE CITY OF CUPERTINO FOR STORM WATER POLLUTION PREVENTION & WATERCOURSE PROTECTION: Chapter 9.18

9.18.040 Discharge into the storm drain prohibited
It is unlawful to cause, allow, or permit to be discharged, any discharge not composed entirely of stormwater to the storm drain system or to surface waters or to any location where it would contact or eventually be transported to surface waters, including flood plain areas, unless specifically called out in the Municipal Regional Permit as an exempt or conditionally exempt discharge.

9.18.070 Accidental Discharge
All persons shall notify the Director of Public Works immediately upon accidentally discharging pollutants of concern to enable countermeasures to be taken by the City to minimize damage to storm drains and the receiving waters. Initial notification shall be followed, within five (5) business days of the date of occurrence, by a detailed written statement describing the causes of the accidental discharge and the measures being taken to prevent future occurrences. Such notification will not relieve persons of liability for violations of this chapter or for any fines imposed on the City on account thereof under Section 13350 of the California Water Code, or for violation of Section 5650 of the California Fish and Wildlife Code, or any other applicable provisions of State or Federal laws.

9.18.220 Violation
Any person who violates any provision of this Chapter shall be guilty of a misdemeanor and upon conviction thereof shall be punished as provided in Chapter 1.12 of the City of Cupertino Municipal Code.

Chapter 1.12: General Penalty, Section 1.12.010, paragraph D, states:

Unless otherwise specified by this code, an infraction is punishable by:

1. A fine not to exceed \$100 for a first violation
2. A fine not to exceed \$200 for a second violation
3. A fine not to exceed \$500 for a third violation of the same chapter within one year.

9.18.240 Civil penalty for illicit discharges
Any person who discharges pollutants, in violation of this Chapter, by the use of illicit connections shall be civilly liable to the City in a sum not to exceed **twenty-five thousand dollars per day per violation** for each day in which such violation occurs.

"Excerpts - For complete CODE language refer to the City of Cupertino Municipal Code.

Cupertino Building Dept: 408-777-3228
Public Works Dept: 408-777-3264

Santa Clara County Recycling Hotline: 800-512-2328
www.recycleinfo.com
3rd Party Business Hazardous Waste: 408-299-7300

Cupertino Sanitary Sewer Distr: 408-263-7071

Santa Clara Valley Urban Runoff Pollution Prevention Prgm: 800-794-2482

State Office of Emergency Services: 1-800-451-7550 (24 hrs)
Report spills to 911

General Construction and Site Supervision

Storm Drain Pollution from Construction Activities
Construction sites are common sources of storm water pollution. Materials and wastes that flow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

General Principles

- Keep an orderly site and ensure good housekeeping activities are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Control dust control water chest/leakage to discharge to storm drains.

Advance Planning to Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before excavation. Use the Department of Public Works Stormwater Manual available from the Regional Water Quality Control Board as a reference.
- Control the amount of runoff entering your site by installing silt fences or other erosion control devices to divert water flow around the site. Reduce erosion control devices by constructing temporary silt fences or other erosion control devices.
- Train your employees and subcontractors. The City of Cupertino provides training for you. Inquire to the Director of Public Works about the stormwater training and the City's responsibilities. Use the Stormwater Pollution Prevention Manual available from the Regional Water Quality Control Board. (The online version is available at: www.rwqcb.org)

Landscaping, Gardening, and Pool Maintenance

Landscaping/Garden Maintenance

- Prevent stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags, gravel-filled bags, straw wattles, or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.
- Use pesticides, herbicides, and other chemicals indoors or in a shed or storage cabinet.
- Use pesticides sparingly, according to instructions on the label. Store pesticides, herbicides, and other chemicals in their original containers, and use insecticides in product containers. Dispose of unused pesticides as hazardous waste.
- In Cupertino, residents with outside recycling can collect lawn, garden and tree trimmings in yardwaste bags. Yardwaste will be collected and composted by the city's contractor. Residents are encouraged to compost yardwaste on-site whenever possible. Do not place yard waste in the trash. Do not place yard waste in the street or near a waterway.
- Landscaping contractors should take erosion and grading control measures to a level that prevents yard waste from being blown into a street or storm drain. Do not blow or rake leaves into the street.

Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soil and increase the likelihood that acids and garden chemicals will run off into the storm drains during winter or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

Pool/Fountain/Spa Maintenance
Draining pools or spas
When it's time to drain a pool, spa, or fountain please be sure to call the Cupertino Sanitary District before you start for further guidance on flow rate restrictions, backflow prevention, and handling specific cleaning waste (such as acid waste). Discharge flow should be kept to the low end of the flow rate range through a garden hose. Higher flow rates may be prohibited by local ordinance.

Never discharge pool or spa water to a street or storm drain; discharge to a sanitary sewer cleanout.

- If possible, when emptying a pool or spa, collect water in a few days and discharge it gradually into a landscaped area.
- Do not use copper-based algaecides. Consult with your contractor or other alternatives, such as sulfur brooms.

Filter Cleaning

- Never hose a filter in the street or near a storm drain. Rinse with water in a bucket or tub. Do not use a hose to clean a filter. Do not use a hose to clean a filter in the street or near a storm drain.
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Earth-Moving Activities

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with wattles, or temporary drainage series. Use check dams and ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper erosion and sediment control measures.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

Dewatering Operations

Storm Drain Pollution from Dewatering Activities

Be sure to call your city's storm water inspector at 408-472-9907 before discharging water to a street, gutter, or storm drain. Filtration or dewatering through a basin, tank, and sediment trap may be required. Reuse water for dust control, irrigation or another on-site purpose to the greatest extent possible.

Check for Sediment or Toxic Pollutants

- Check for odors, discoloration, or an oily sheen on groundwater.
- Ask your city inspector whether the groundwater must be tested by a certified laboratory.
- Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain OR you may be required to discharge to the sanitary sewer or collect and haul the water off-site for treatment and disposal at an appropriate treatment facility.
- When discharging to a storm drain, protect the inlet using a barrier of Burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate.
- Contact Cupertino Sanitary District at 253-7071 prior to discharging to the sanitary sewer.

Heavy Equipment Operation

Storm water Pollution from Heavy Equipment on Construction Sites

Heavy machinery, vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by detaching equipment from fuel tanks and hoses, and by watching for leaks and other malfunctions of equipment. Remove construction equipment from the site as soon as possible.

Site Planning and Preventive Vehicle Maintenance

- Designate an area of the construction site, well away from streets or storm drains, to store and clean up oil, antifreeze, and other fluids. Use a spill kit to clean up any spills. Do not use a hose to clean up a spill. Do not use a hose to clean up a spill in the street or near a storm drain.
- Perform regular maintenance, repair jobs and vehicle and equipment cleaning activities. Wash fluids to a silt trap.
- If you must clean or repair a motor, vehicle, generator, or other equipment, use a spill kit to clean up any spills. Do not use a hose to clean up a spill. Do not use a hose to clean up a spill in the street or near a storm drain.
- Do not use a hose to clean up a spill. Do not use a hose to clean up a spill in the street or near a storm drain.

Spill Cleanup

- Clean up spills immediately.
- Use spill kits to clean up spills. Do not use a hose to clean up a spill. Do not use a hose to clean up a spill in the street or near a storm drain.
- Use spill kits to clean up spills. Do not use a hose to clean up a spill. Do not use a hose to clean up a spill in the street or near a storm drain.

Removal of BMP Facilities

The Project Contractor is responsible for removal of all BMP Facilities located within the Public Right of Way upon project final inspection.

The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Painting and Application of Solvents and Adhesives

Point Removal

- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up, collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residues, and chips and dust from marine paints, or paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wastewater onto a dirt area and sump into soil. Or, check with Cupertino Sanitary District to find out if you can pump or vacuum the wastewater and dispose of it in a sanitary sewer drain. Sampling of the wastewater may be required.
- Washwater from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water, check with Cupertino Sanitary District to determine whether you may discharge water to the sanitary sewer, or if you must send it off-site for disposal as hazardous waste.
- If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with Cupertino Sanitary District to determine whether you may discharge water to the sanitary sewer, or if you must send it off-site for disposal as hazardous waste.

Point Disposal, Return or Donation

- Dispose of unwanted liquid paint, thinners, solvents, glues, and cleaning fluids as hazardous waste (call the Small Business Hazardous Waste Page: 209-7300).
- Return to supplier. Unopened cans of paint may be able to be returned. Check with the vendor regarding its "buy-back" policy.
- Donate excess paint (call 209-7300 to donate.)

Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains.

Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or creek.
- For water-based paints, paint out brushes to the extent possible, and rinse into an inside sink drain that goes to the sanitary sewer.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinner and solvents, where possible. Dispose of excess liquids and residues as hazardous waste.
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage.

Roadwork and Paving

Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for a spill, wet-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal or similar materials.
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.
- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other dirt/soil materials with plastic tarp. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up, remove, and properly dispose of contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. ???
- Avoid over-application by water trucks for dust control.

Fresh Concrete and Mortar Application

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

General Business Practices

- Wash out concrete mixers only in designated washout areas in your yard, away from storm drains and waterways, where the water will flow into a temporary wash pit or dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out concrete into dirt areas that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trowels.

General Business Practices

General Business Practices

- Develop and implement erosion/sediment control plans for roadwork activities.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc., where ever possible, or dispose of property. (www.recyclestuff.com for list of recycling companies.)

Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- When making saw cuts, use a little water as possible. Street or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not pump vacuumed liquor or storm drains.

Small Business Hazardous Waste Disposal Prgm

Businesses that generate less than 27 gallons or 220 pounds of hazardous waste per month are eligible to use this program. Call 408-299-7300 for a quote.



NOT FOR CONSTRUCTION

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REV. DESCRIPTION DATE

REV. 01	SB-35 DEVELOPMENT APPLICATION	03/27/2018
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KEY PLAN AND NORTH ARROW

ARCHITECTS PROJECT NUMBER: 018011

PROJECT NAME: SB-35 DEVELOPMENT APPLICATION

IF THIS DRAWING IS NOT NEW, IT IS A REDUCED PRINT. REFER TO GRAPHIC SCALE.

SCALE: 1" = 32'

SHEET: P-0413

SHEET NUMBER: 1

BEST MANAGEMENT PRACTICES NO SCALE

APPROVED: 9/1/16 DATE

TIMM BORDEN, RC# 46612 DIRECTOR OF PUBLIC WORKS

CONSTRUCTION BEST MANAGEMENT PRACTICES

CITY OF CUPERTINO
DEPARTMENT OF PUBLIC WORKS

UPDATED SEPTEMBER 2016

BEST MANAGEMENT PRACTICES

SHEET TITLE: P-0413

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BEST MANAGEMENT PRACTICES NO SCALE