

CITY STAMP

**WESTPORT  
 CUPERTINO**

**KT URBAN**  
**21267 STEVENS CREEK  
 BLVD, CUPERTINO, CA**

PROJECT NO.: 14148  
 DRAWN: Author  
 DATE: 2018 MAY 17  
 SITE PLAN APPLICATION

REVISION: DESCRIPTION:  
**PRELIMINARY,  
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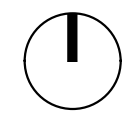
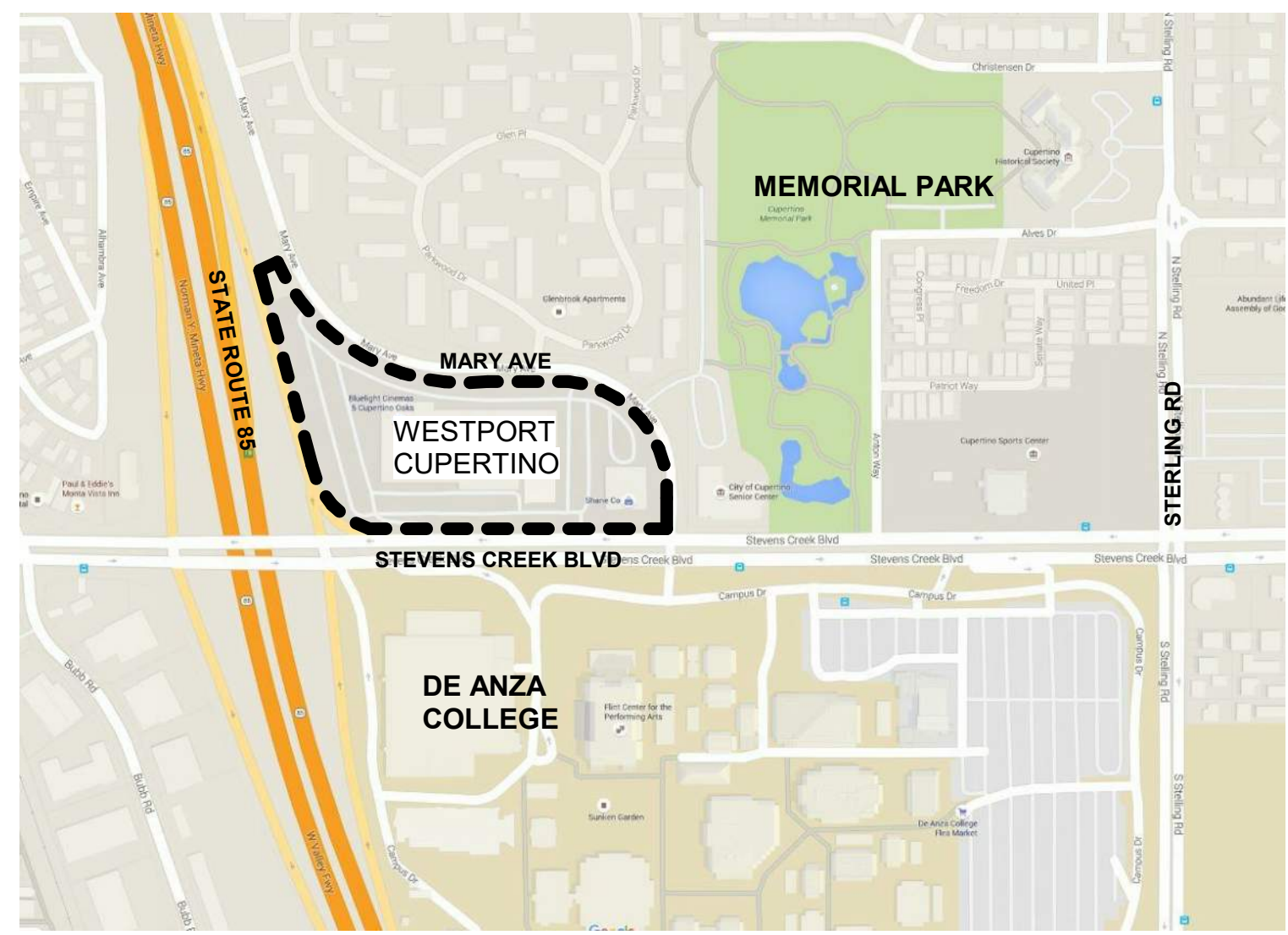
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**SITE PLAN APPLICATION**

SHEET TITLE:  
**COVER SHEET**

SHEET NO.:  
**G200**

**VICINITY MAP**



**PROJECT TEAM**

**CLIENT**  
**KT URBAN**  
 21710 STEVENS CREEK BLVD #200  
 CUPERTINO, CA 95104  
 P: 408.257.2100  
 CONTACT: MARK TERSINI

**ARCHITECT**  
**C2K ARCHITECTURE INC.**  
 1645 NW HOYT ST  
 PORTLAND, OR 97209  
 P: 503.244.2100  
 CONTACT: KEVIN SAUSER  
 ksouser@c2karch.com  
 CONTACT/APPLICANT: NATHAN MILLER  
 nmiller@c2karch.com

**CIVIL**  
**KIMLEY-HORN**  
 4637 CHABOT DRIVE SUITE 300  
 PLEASANTON, CA 94588  
 P: 925.965.7701  
 CONTACT: MARK FALGOUT  
 Mark.Falgout@kimley-horn.com

**LANDSCAPE**  
**PLACE**  
 735 NW 18TH AVE  
 PORTLAND, OR 97209  
 P: 503.334.1630  
 CONTACT: MIGUEL CAMACHO SERNA  
 miguel.camacho.serna@place.la

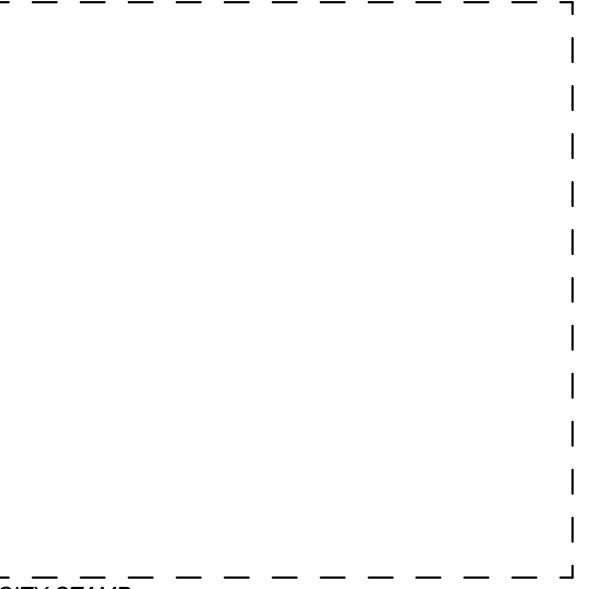
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SHEET TITLE:  
 ILLUSTRATIVE SITE PLAN

SHEET NO.:  
**G201**



SITE PLAN APPLICATION

**BUILDING CODE DATA (CONT.):**

**4. OCCUPANT LOAD:**

BUILDING 1: RETAIL:	275 OCCUPANTS	16,500 GSF/ 60 GSF PER OCC.
BUILDING 2: RETAIL:	59 OCCUPANTS	3,500 GSF/ 60 GSF PER OCC.
BUILDING 1: RESID:	710 OCCUPANTS	141,855 GSF/ 200 GSF PER OCC.
BUILDING 2: RESID:	133 OCCUPANTS	26,550 GSF/ 200 GSF PER OCC.
TOWNHOUSES:	207 OCCUPANTS	69 UNITS * 3 BEDROOMS
ROWHOUSES:	57 OCCUPANTS	19 UNITS * 3 BEDROOMS
PARKING GARAGE:	440 OCCUPANTS	88,000 GSF/ 200 GSF PER OCC.

**RESIDENTIAL UNIT MATRIX:**

**RESIDENTIAL - RETAIL BUILDING 1**

UNIT MIX	1 BR	2BR	3BR	TOTAL
LEVEL 6		4	3	7
LEVEL 5	7	12	1	20
LEVEL 4	7	12	1	20
LEVEL 3	7	12	1	20
LEVEL 2	8	11		19
LEVEL 1				
<b>TOTAL UNITS</b>	<b>29</b>	<b>51</b>	<b>6</b>	<b>86</b>
<b>RATIO %</b>	<b>34%</b>	<b>59%</b>	<b>7%</b>	<b>100%</b>

**RESIDENTIAL - RETAIL BUILDING 2 - SENIOR LIVING UNITS**

UNIT MIX	1 BR	2BR	3BR	TOTAL
LEVEL 4	9	0	0	9
LEVEL 3	9	0	0	9
LEVEL 2	9	0	0	9
LEVEL 1	3	0	0	3
<b>TOTAL UNITS</b>	<b>30</b>	<b>0</b>	<b>0</b>	<b>30</b>
<b>RATIO %</b>	<b>100%</b>	<b>0%</b>	<b>0%</b>	<b>100%</b>

**SINGLE FAMILY - ROWHOUSES AND TOWNHOUSES**

	3BR / 3BA	3BR / 2.5 BA	TOTAL
ROWHOUSES	13	6	19
TOWNHOUSES	43	26	69
<b>TOTAL UNITS</b>	<b>56</b>	<b>32</b>	<b>88</b>

<b>TOTAL UNITS</b>	<b>204</b>
--------------------	------------

**ZONING CODE DATA (CONT.):**

- 6. BICYCLE PARKING:**
- Required Bicycle Parking for Each Building Use, per Green Building Standards Non-Residential Mandatory Measure 5.106.4.1.1:
    - Building 1:** Short Term Retail (Class II) 5% of 66 Vehicle Spaces 4 Req'd / 4 Provided
    - Building 2:** Short Term Retail (Class II) 5% of 14 Vehicle Spaces 1 Req'd / 1 Provided
  - Required Bicycle Parking for Each Building Use, per Parking Table 19.124.040(A):
    - Building 1:** Residential (Class II) (1/ 10 units): 8.6 Req'd / 9 Provided  
Retail (Class II) (1/ 1,250 SF): 13.2 Req'd / 14 Provided
    - Building 2:** Residential (Class II) (1/ 10 units): 3 Req'd / 3 Provided  
Retail (Class II) (1/ 1,250 SF): 2.8 Req'd / 3 Provided
  - See architectural sheet A203 for bicycle parking locations.

**8. PROVISIONS TO VARY FROM HEART OF THE CITY PLAN PURSUANT TO STATE DENSITY BONUS LAW. (SEE APPLICATION)**

- Project will have 30 Below Market Rate (BMR) Affordable Senior Housing Units and requests the following provisions:
- Density Increase from 200 to 204 housing units
  - Height Increase for Building 1 from 45'-0" to 65'-0"
  - Increase in the slope setback for Building 1 on Stevens Creek Boulevard frontage from 1:1 to 1:1.70.

**BUILDING CODE DATA:**

- 1. LOCAL CODES :**
- 2016 California Building Standards Codes & Cupertino Municipal Code Chapter 16.04
  - 2016 California Building Code, w/ local amendments
  - 2016 California Electrical Code, w/ local amendments
  - 2016 California Mechanical Code, w/ local amendments
  - 2016 California Plumbing Code, w/ local amendments
  - 2016 California Energy Code, w/ local amendments
  - 2016 California Fire Code, w/ local amendments
  - 2016 California Green Building Standards (CALGreen) Code, w/ local amendments
  - 2016 California Residential, w/ local amendments
  - Accessibility
    - Fair Housing Safe Harbor: 2003 ICC/ANSI A117.1
    - 2010 ADA Standards for Accessible Design
- 2. BUILDING USE AND OCCUPANCY :**
- Occupancy Groups (Separated & Non-Separated)
  - Residential-Retail Buildings:
    - Residential Units: Group R-2, Separated
    - Low Income Housing: Group R-2, Separated
    - Lobby/Office: Group A-3, Non-separated
    - Fit Center: Group A-3, Non-separated
    - Retail: Groups A-2 and M, Separated
  - Residential-Townhouses/Rowhouses: Group R-3, Separated

**3. BUILDING HEIGHTS AND AREAS :**

- Story, Height, and Area Limitations:
- Residential-Retail Building 1 - Construction Type IIIA SM:
    - Allowable Stories: 5 Stories over 1 Story allowed per Table 504.4 and Section 510.5 w/ 3-Hr separation at the First Floor.
    - Actual Stories: 5 Stories Residential Building, over 1 Story Retail
    - Maximum Building Ht: 75'-0" per Section 510.5
    - Actual Building Height: 73'-8" to top of highest roof parapet (N.I. stair and elevator overruns, non-occupied tower, or fall protection)
    - Allowable Building Area: 24,000 SF/Story for Type VA Housing per Table 506.2 and Section 506.2
    - Unlimited for Type IA Retail
    - Actual Building Area: 158,355 GSF at 29,901 SF/Story, w/ 2-Hr rated fire walls to subdivide residential floor levels; 16,500 GSF Retail
  - Residential-Retail Building 2 - Construction Type VA Sprinklered SM:
    - Allowable Stories: 4 Stories allowed per Table 504.4 and Section 510.2
    - Actual Stories: 3 Stories Residential Building, over 1 Story Retail / Residential
    - Maximum Building Ht: 60'-0" per Table 504.3
    - Actual Building Height: 53'-5" to top of highest roof parapet (N.I. stair and elevator overruns or fall protection)
    - Allowable Building Area: 36,000+ SF/Story for Type VA Housing per Table 506.2 and Section 506.2
    - 1 hour separation between R and A / M / B occupancies at First Floor.
    - Actual Building Area: 30,500 GSF at 7464 SF/Story; 3,500 GSF Retail
  - Below-Grade Parking Garage - Construction Type IA:
    - Allowable Stories: Unlimited Stories allowed per Table 504.4
    - Actual Stories: 1 Story below grade
    - Allowable Building Area: Unlimited per Table 506.2
    - Actual Building Area: 97,000 GSF
  - Residential-Townhouses - Construction Type VA - Sprinklered S13R:
    - Allowable Stories: 4 Stories
    - Actual Stories: 3 Stories Residential Building
    - Maximum Building Height: 50'-0" per Table 504.3
    - Actual Building Height: 43'-0" to top of highest roof ridge
    - Allowable Building Area: Unlimited SF/Story for Type VA Housing per Table 506.2 and Section 506.2
    - Actual Building Area: 1554 SF plus 507 SF garage to 1954 SF plus 495 SF garage per townhouse / rowhouse. 2-Hr rated fire walls between individual townhouses / rowhouses

**ZONING CODE DATA:**

- 1. GENERAL PLAN/ ZONING:**
- General Plan Guidelines: Community Vision 2040, and the Heart of the City Specific Plan Title 19
  - Zoning Reference: Commercial / Residential P(CG/RES)
  - (E) Land Use Designation: 8.1 acres; 352,836 GSF
  - (E) Zoning Designation: 7.9 acres; 343,958 NSF (Gross Site Area - 8,878 SF for Public Roadway/Public Utilities easement)
  - Site Area, Gross: 32% (111,691 SF / 343,958 NSF)
  - Site Area, Net: 1.68 (579,402 GSF / 343,958 NSF)
  - Lot Coverage: 30 DUA, up to a maximum of 200 units
  - F.A.R.: 25.8 DUA, for a total of 204 Units (includes a state density bonus for 30 BMR units.)
  - Allowable Density (DUA):
  - Proposed Density (DUA):
- 2. HEIGHT:**
- Zoning Max Allowable Height: 45'-0" Max
  - Actual Project Max Height: 65'-0" to eave of Building 1 (Highest Building)
  - See Bonus Height request below. See Building Code Data for heights of each proposed building.
- 3. MINIMUM YARDS BUILDING SETBACKS :**
- Stevens Creek Blvd (South side): 35'-0" from edge of curb
  - Mary Ave (East side): 35'-0" from edge of curb
  - Mary Ave (North Side): 17'-8" from property line (eq. to 1/2 ht. of bldg)
  - Highway 85 (West Side): 17'-8" from property line (eq. to 1/2 ht. of bldg)
  - See Architectural Site Plan sheet G203 for Building Setbacks dimensions.

- 4. OPEN SPACE:**
- See Open Space Area Calcs Site Plan sheet G206.

- 5. AUTO PARKING:**
- Parking for Each Building Use, per Parking Table 19.124.040(A) for Retail and Residential:
- Residential-Retail Building 1:
- |                                |  |
|--------------------------------|--|
| Retail (16,500 SF) (Uni-size): | 66 Spaces Req'd/ 66 Provided (66 at grade)                             |
| Residential (86 units):        |  |
| Covered (9'-6"x20'):           | 86 Spaces Req'd/ 89 Provided (86 tandem and 3 single spaces in garage) |
| Open (9'-6"x20'):              | 86 Spaces Req'd/ 86 Provided (tandem in garage)                        |
| <b>Total Spaces:</b>           | <b>238 Spaces Req'd / 241 Provided</b>                                 |
- Residential-Retail Building 2 (Senior / Low Income Housing):
- |                               |   |
|-------------------------------|---|
| Retail (3,500 SF) (Uni-size): | 14 Spaces Req'd/ 14 Provided (at grade)         |
| Residential (30 units):       |   |
| Covered (9'-6"x20'):          | 30 Spaces Req'd/ 30 Provided (tandem in garage) |
| Open (9'-6"x20'):             | 30 Spaces Req'd/ 30 Provided (tandem in garage) |
| <b>Total Spaces:</b>          | <b>74 Spaces Req'd / 74 Provided</b>            |
- Residential-Townhouses / Rowhouses
- |                         |   |
|-------------------------|---|
| Residential (88 units): |   |
| Covered (10"x20'):      | 176 Spaces Req'd/ 176 Provided (in unit)  |
| Open (Uni-size):        | 70.4 Spaces Req'd/ 71 Provided (at grade) |
| <b>Total Spaces:</b>    | <b>246.4 Spaces Req'd / 247 Provided</b>  |

- Future Electrical Vehicle Supply Equipment (EVSE) and Clean Air Vehicles**
- Per CALGreen 4.106.4.1.: Each Townhouse / Rowhouse will have a raceway and service panel to support a 40 amp circuit for a vehicle charging station.

- Per CALGreen 4.106.4.2: Three percent of parking spaces in multi-family dwellings units shall be EVSE.
  - Building 1/ Residential Spaces: 3% of 175 spaces = 5.25 Spaces Req'd / 6 Spaces Provided
  - Building 2/ Residential Spaces: 3% of 60 spaces = 1.8 Spaces Req'd / 2 Spaces Provided

- Per CALGreen 5.106.5.3.3: Table 5.106.5.3.3 (80) retail parking spaces require 5 EVSE Spaces / 5 Provided
  - Building 1/ Retail Spaces: 66 Spaces = 4 EVSE Req'd / 4 Provided
  - Building 2/ Retail Spaces: 16 Spaces = 1 EVSE Req'd / 1 Provided

- Per CAL Green 5.106.5.2, Table 5.106.5.2 (80) retail parking spaces require 8 Clean Air Vehicle stalls / 8 Provided (per CAL Green 5.106.5.3.5, future charging stations qualify as Clean Air Vehicle stalls)
- Per CAL Green 5.106.5.3.4, future EVSE charging stalls shall be designated as "EV CAPABLE"
- Per CAL Green 5.106.5.2.1, Clean Air Vehicle stalls shall be designated as "CLEAN AIR / VAN POOL / EV".

- Accessible Parking Stalls**
- Per 11B-Table 11B208.2 Accessible Retail Parking Stalls are:
    - Building 1/ Retail : 66 Spaces = 3 Accessible Spaces Req'd / 3 Provided (1 is Van space)
    - Building 2/ Retail Spaces: 16 Spaces = 1 Accessible Space Req'd / 1 Provided (Van Space)

- Per 1109A.3 - Assigned Accessible Residential Parking Stalls:
  - Building 1/ Residential: 2% of 175 spaces = 3.5 Spaces Req'd / 4 Tandem Spaces (8 spaces total) provided. 1 Tandem Space shall be van accessible.
  - Building 2 / Residential: 2% of 60 spaces = 1.2 Spaces Req'd / 2 Tandem Spaces (4 spaces total) provided. 1 tandem space shall be van accessible.
  - Townhouses/ Rowhouses: 2% of 176 spaces = 3.52 Spaces Req'd / 4 Tandem Spaces (8 spaces total) Provided in Units. 1 Tandem Space shall be Van Accessible.

- Per 1109A.5 Unassigned Visitor Spaces:
  - Townhouses/ Rowhouses: 5% of 71 open spaces = 3.6 Spaces Req'd / 4 Spaces Provided. 1 Space shall be Van Accessible.

**PROJECT SUMMARY:**

- 1. STREET ADDRESS AND APN FOR SITE:**
- Street Address: 21267 Stevens Creek Boulevard, Cupertino, CA 95014
  - Parcel 1 (APN:326-27-039) and Parcel 2 (APN: 326-27-040 & 041) per Map 838, pg 24-25
- 2. PROJECT PROGRAM SUMMARY:**
- Redevelopment of 71,254 SF Shopping Center (53,701 SF Retail, 17,503 SF Office) on 8.1 acres site, to provide mixed-use urban village with 204 residential units and 20,000 SF of retail space with the following structures:
    - Residential-Retail Building 1: 6-stories; 141,855 SF residential; 86 units; w/ 16,500 SF of ground-level retail.
    - Residential-Retail Building 2 (Senior Housing): 4-stories; 26,550 SF residential; 30 senior units; w/ 3500 SF of ground-level retail.
    - Below-Grade Parking Garage: 1-level below grade; 88,000 SF; 235 parking spaces.
    - Residential Townhouses: 69 units, 3 stories, 124,039 SF Total Residential plus 34,467 SF of garage. (Unit size range: 1554 SF plus 507 SF garage to 1954 SF plus 495 SF garage)
    - Residential Rowhouses: 19 units, 3 stories, 44,086 SF Total Residential plus 9477 SF of garage. (Unit size range: 1554 SF plus 507 SF garage to 1954 SF plus 495 SF garage)
- 3. PLANNING PERMIT APPLICATION PLAN CONTENT REQUIREMENTS:**
- General Plan Land Use Designation: See Sheet G.202
  - Zoning Designation: See Sheet G.202
  - Scale and North Arrow: See drawings sheets
  - Vicinity Map: See Sheet G.000
  - Site Area: See Sheet G.202
  - Lot Line Dimensions: See Sheet C.1
  - Proposed Program: See Sheet G.202
  - Density: See Sheet G.202
  - Unit / Townhouses / Rowhouses Plans: See Sheet A.212, A.220-A.223
  - Setbacks: See Sheets G.203 & G.204
  - Site Plan, Existing: See Sheet C.0
  - Site Plan, Proposed: See Sheet G.201
  - Existing Buildings on Adjoining Properties: See Sheet G.207
  - Heart of the City Specific Plan Exceptions: See Sheets G.202
  - Preliminary Floor Plans: See Sheets A.200 thru A.206
  - Preliminary Grading Plans, Existing: See Sheet C.0
  - Preliminary Grading Plans, Proposed: See Sheet C.1
  - Preliminary Elevations, Proposed: See Sheets A.210 and A.213-A.216
  - Preliminary Architectural Renderings: See Sheets COVER, A.210 and A.213-A.222
  - Proposed Materials and Colors: See Sheets G.213
  - Preliminary Building Cross-Sections: See Sheets A.211, A.214, A.220-A.222
  - Public Improvements: See Sheets C.1
  - Driveways/Parking: See Sheets A.200, A.201
  - Loading/Unloading Areas: See Sheets A.201
  - Parking (Required and Proposed): See Sheets G.202 and A.200
  - Preliminary Landscape Plans: See Sheet L.100 and L.200
  - Open Space and Common Area: See Sheet G.206
  - Phasing Plan: See Sheet G.240



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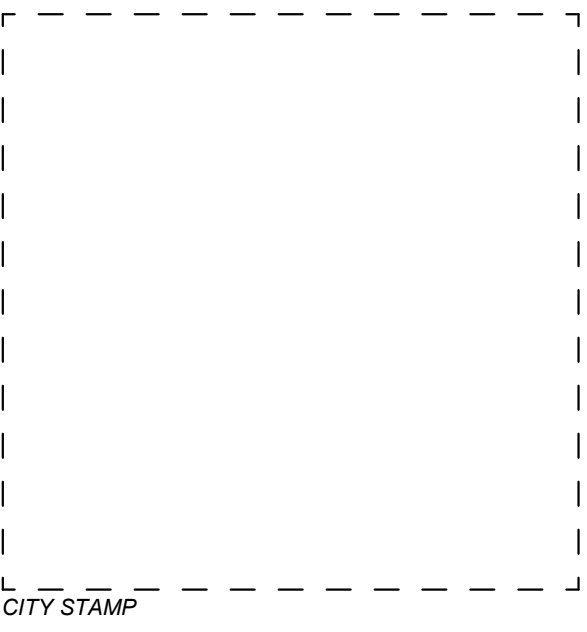
SHEET NO.:  
**G202**

GENERAL NOTES - SITE PLAN

1. SEE PROJECT SUMMARY SHEET G202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G203 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G206 FOR OPEN SPACE CALCS.
4. SEE SHEET G202 AND A203 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA INFO.



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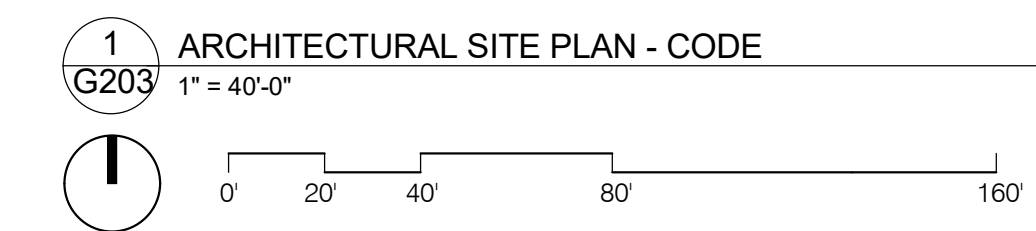
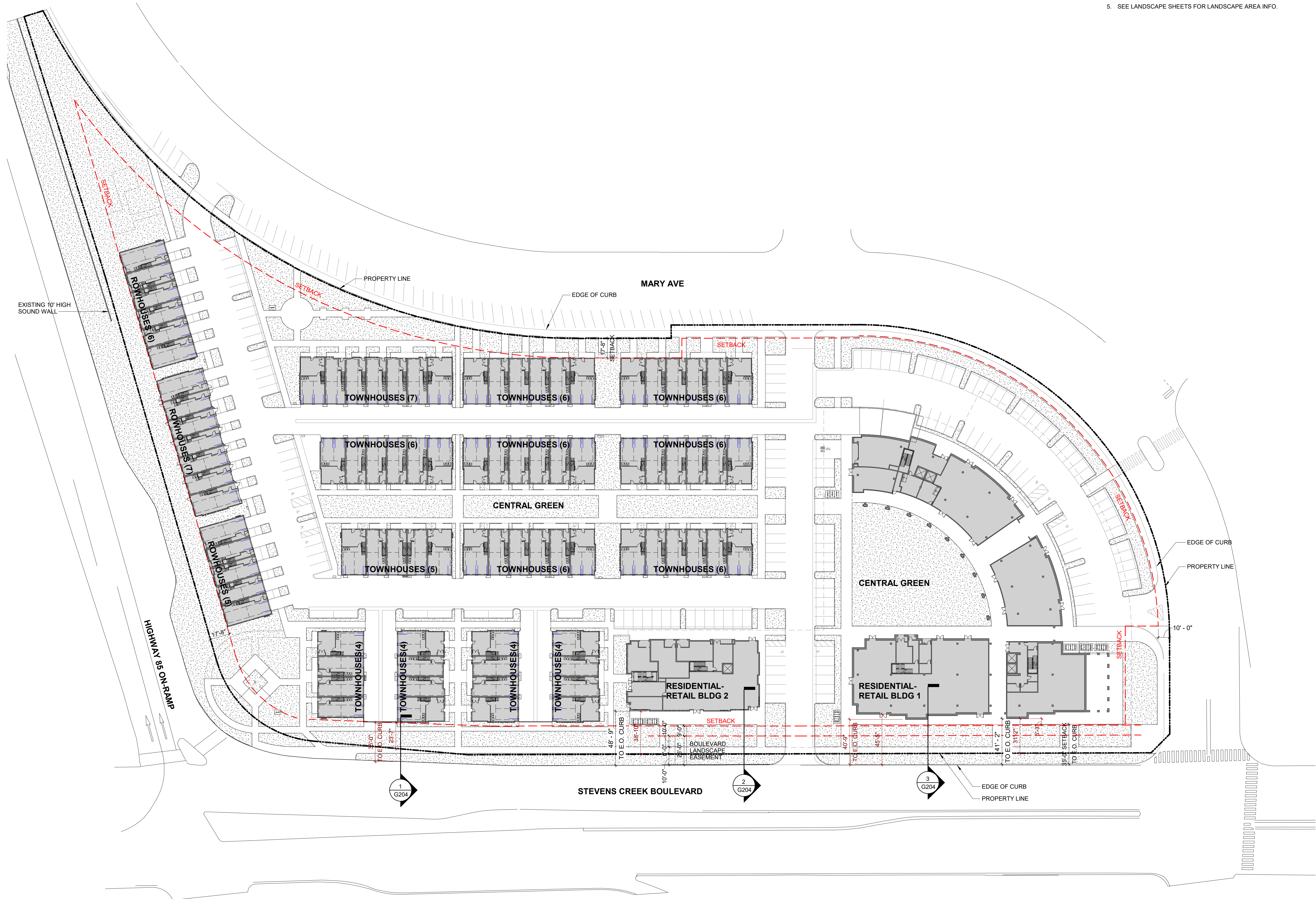
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SITE SETBACKS

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**G203**

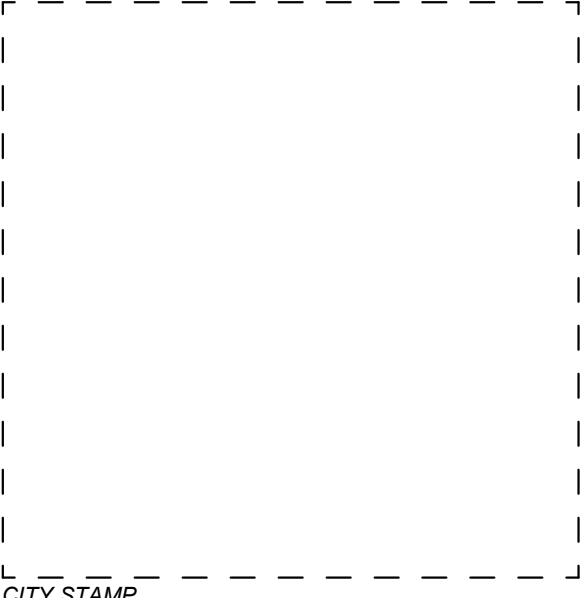


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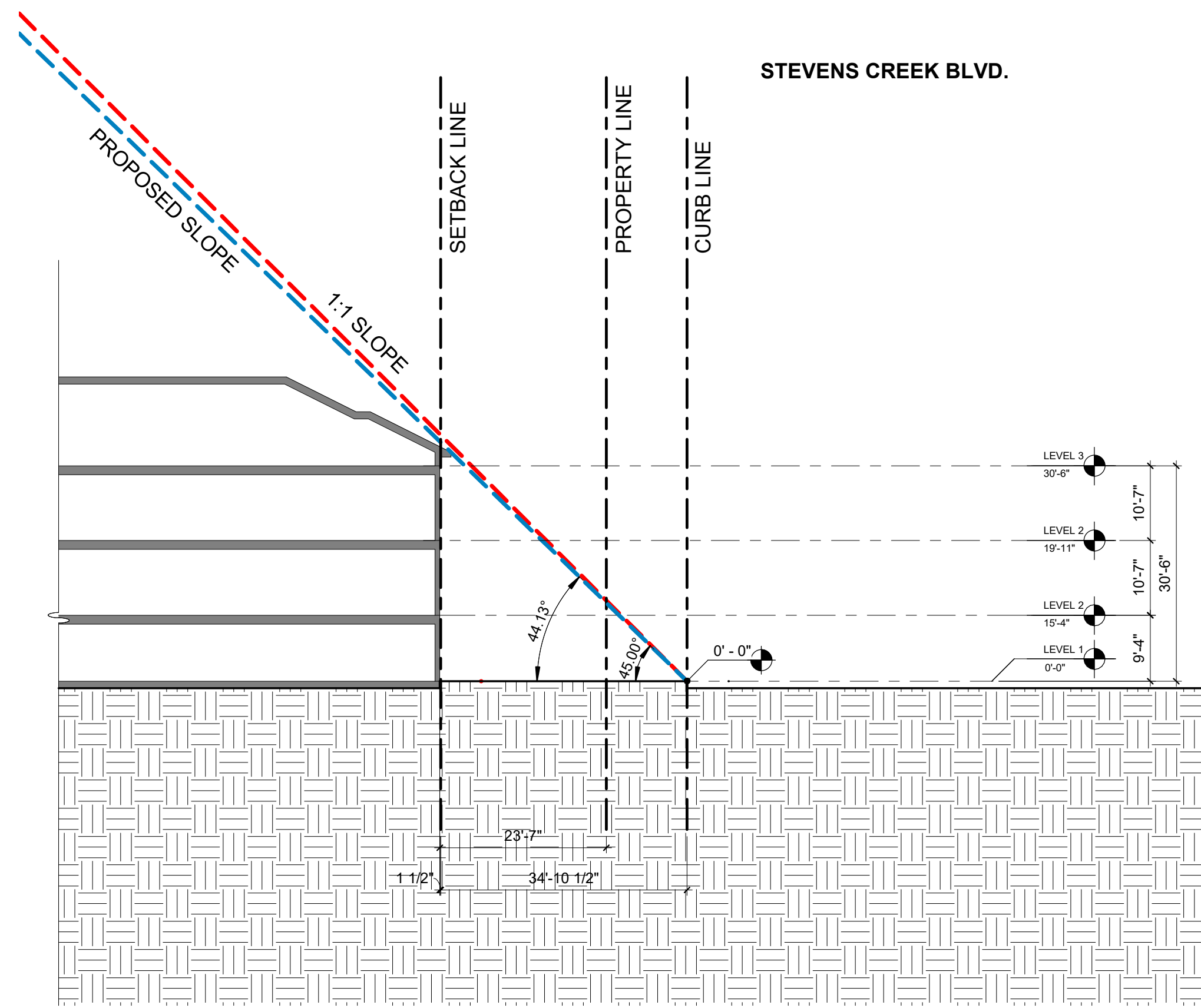
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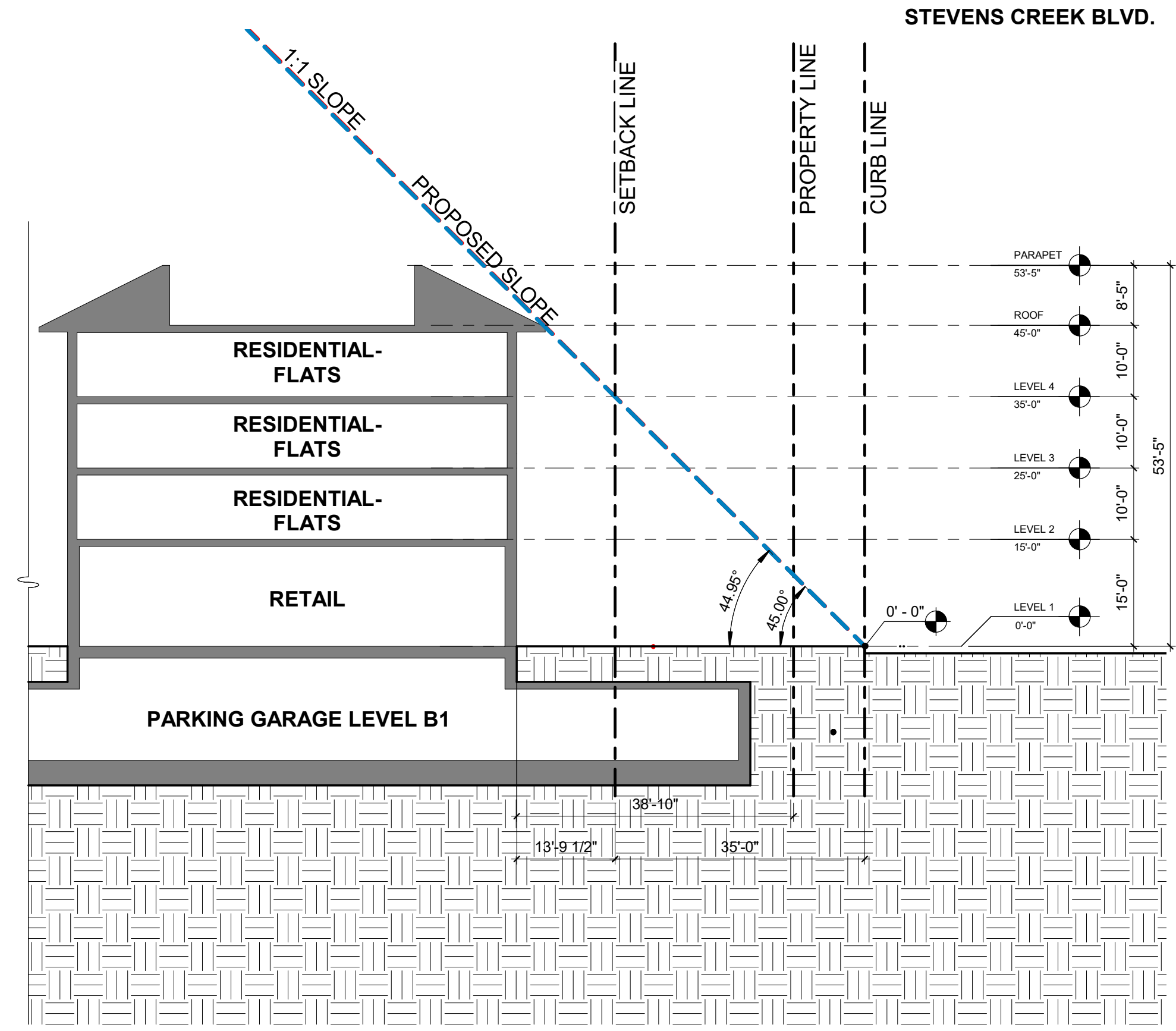
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 SLOPE SETBACKS

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**G204**

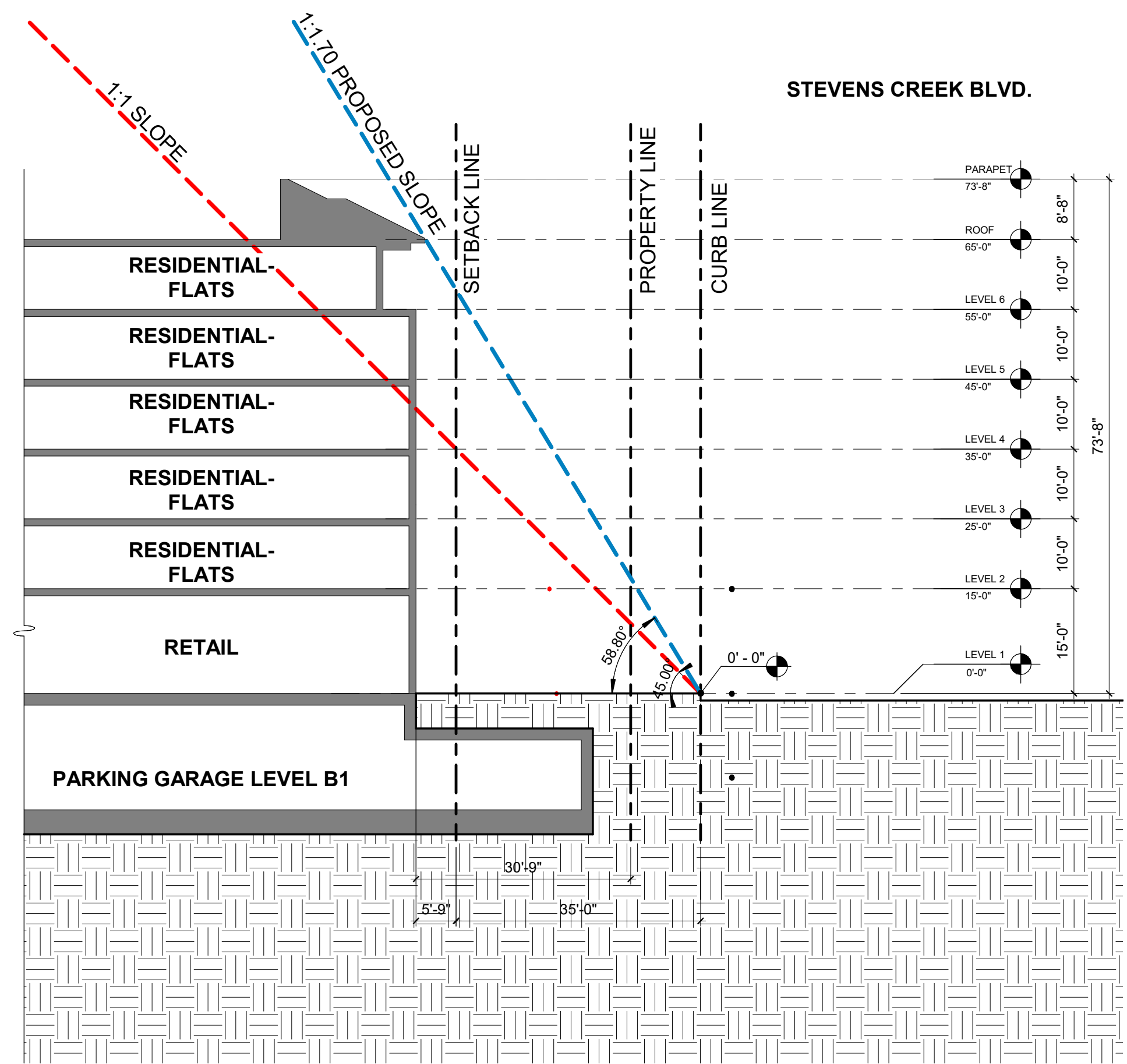
SITE PLAN APPLICATION



1 TOWNHOUSE  
 G204 1/16" = 1'-0"



2 RETAIL- RESIDENTIAL BUILDING 2  
 G204 1/16" = 1'-0"


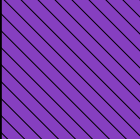
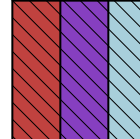
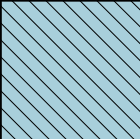



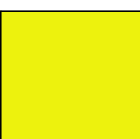
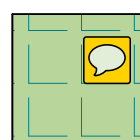
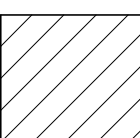
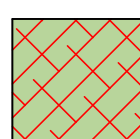
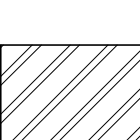
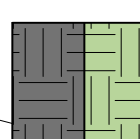


3 RETAIL-RESIDENTIAL BUILDING 1  
 G204 1/16" = 1'-0"

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**OPEN SPACE LEGEND:**

	GROSS SITE AREA = 352,836 SF (8.1 Acres) NET SITE AREA = 343,958 SF		RESIDENTIAL
	BUILDING COVERAGE AREA = 105,916 SF 105,916 / 343,958 = 30.8% NET SITE		BUILDING LOBBIES/ SUPPORT SPACE
	HARDSCAPE AREA = 148,422 SF 148,422 / 343,958 = 43.2% NET SITE		RETAIL GROSS AREA RETAIL = 20,000 SF
	LANDSCAPE AREA = 89,260 SF 89,260 / 343,958 = 26.0% NET SITE		SURFACE PARKING AREA = 34,033 SF
	COMMON OPEN SPACE = 31,087 SF 204 UNITS X 150SF/UNIT = 30,600 SF MIN REQ'D		TH/RH PRIVATE OUTDOOR SPACE = 10,477 SF NOTE: EACH RESIDENTIAL UNIT IS PROVIDED WITH A MINIMUM 60 SF PRIVATE OUTDOOR SPACE
	COMMON LANDSCAPE SPACE = 22,043 SF 70%-80% OF COMMON OPEN SPACE REQ'D = 21,760 SF - 24,870 SF REQ'D 22,043 SF / 31,087 SF = 71% PROVIDED		COMMON RETAIL OUTDOOR SPACE = 5358 SF
	COMMON HARDSCAPE SPACE = 6396 SF 20%-30% OF COMMON OPEN SPACE REQ'D = 6217 SF - 9326 SF REQ'D 6396 SF / 22,043 SF = 21% PROVIDED		



**WESTPORT  
CUPERTINO**

KT URBAN  
21267 STEVENS CREEK  
BLVD, CUPERTINO, CA

PROJECT NO.: 14148  
DRAWN: Author  
DATE: 2018 MAY 17  
SITE PLAN APPLICATION

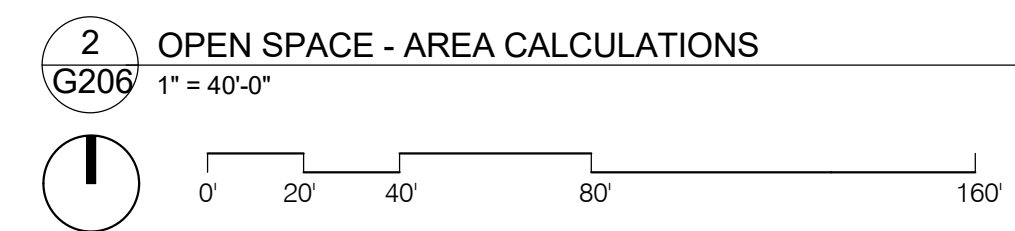
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**PRELIMINARY,  
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**SITE PLAN APPLICATION**

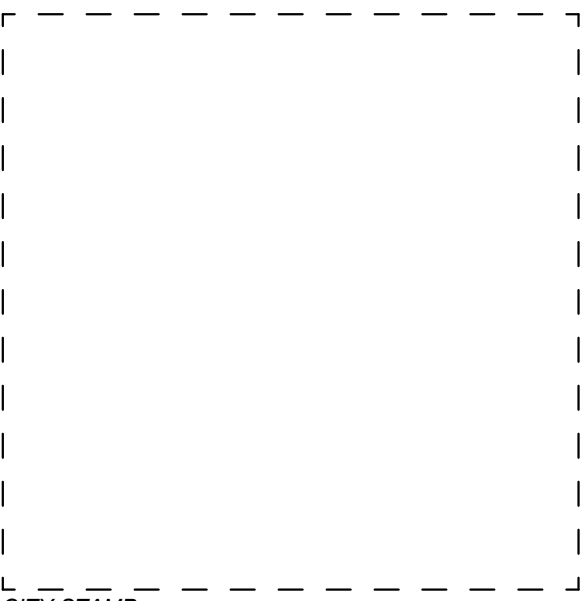
SHEET TITLE:  
**OPEN SPACE AREAS**

SHEET NO.:  
**G206**





1645 NW HOYT  
PORTLAND OREGON 97209  
503 444 2200



CITY STAMP

# WESTPORT CUPERTINO

KT URBAN  
21267 STEVENS CREEK  
BLVD, CUPERTINO, CA

PROJECT NO.: 14148  
DRAWN: Author  
DATE: 2018 MAY 17  
SITE PLAN APPLICATION

REVISION: DESCRIPTION:

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SHEET TITLE:  
NEIGHBORHOOD SITE PLAN &  
BUILDING HEIGHTS

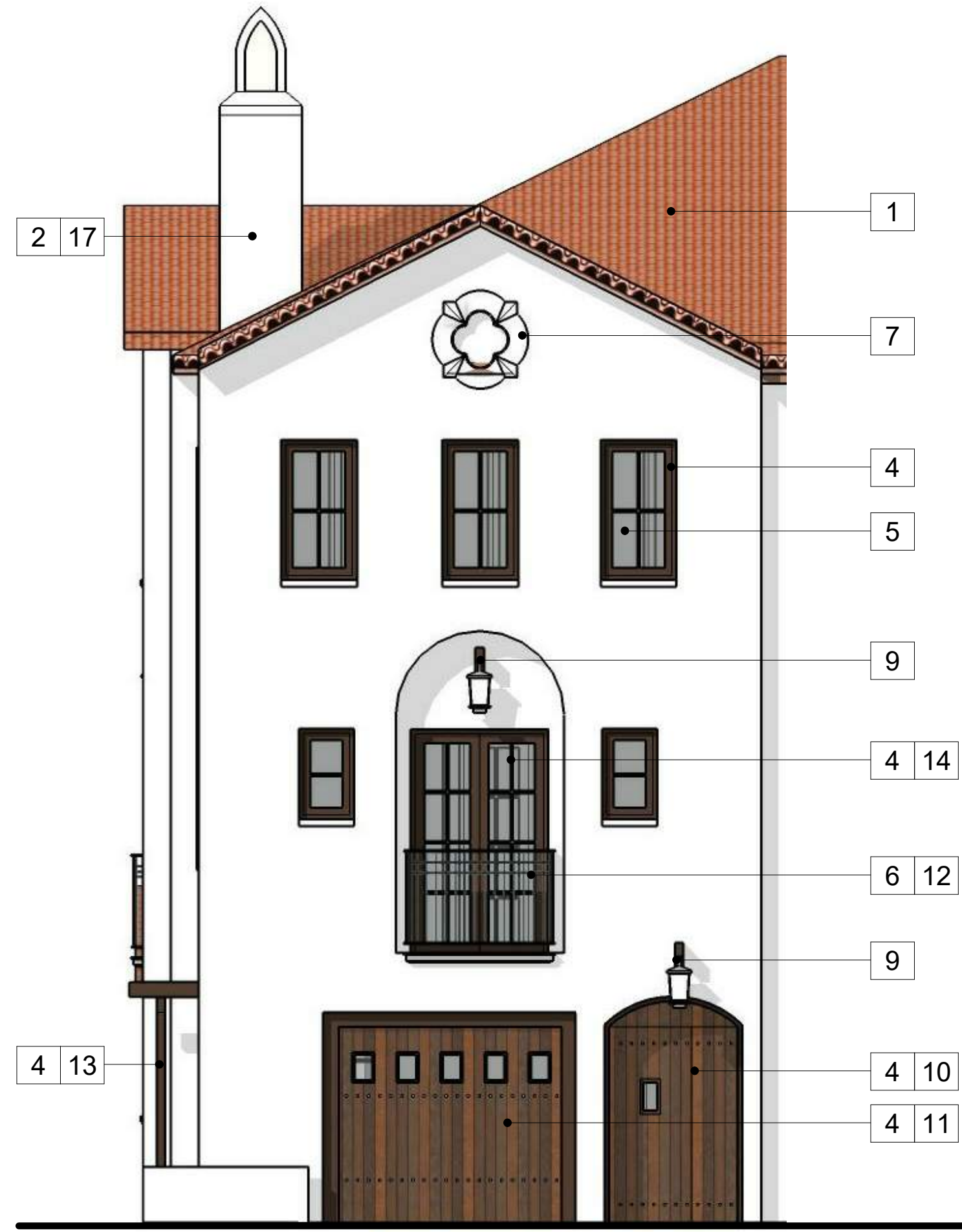
SHEET NO.:  
**G207**



NORTH

SITE PLAN APPLICATION

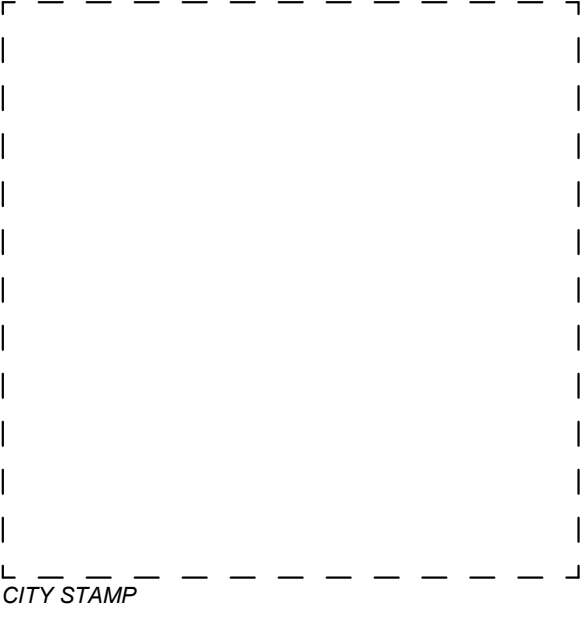
**TOWNHOUSE / ROWHOUSE**



**RETAIL / RESIDENTIAL**



**ARCHITECTURE INC**  
 1645 NW HOYT  
 PORTLAND OREGON 97209  
 503 444 2200



**WESTPORT  
 CUPERTINO**

**KT URBAN**  
**21267 STEVENS CREEK  
 BLVD, CUPERTINO, CA**

PROJECT NO.: 14148  
 DRAWN: Author  
 DATE: 2018 MAY 17  
 SITE PLAN APPLICATION

REVISION: DESCRIPTION:  
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**SITE PLAN APPLICATION**

SHEET TITLE:  
**PROPOSED MATERIALS**

SHEET NO.:  
**G213**

**MATERIAL LEGEND:**

1. ROOF CEMENT TILE		2. STUCCO		3. STUCCO		4. WOOD		5. WINDOW STOREFRONT		10. FRONT ENTRY	
6. PAINTED METAL ACCENT - DARK BRONZE		7. PLASTER DETAILING		8. PAINTED METAL GUTTER/ DOWNSPOUT		9. OUTDOOR LIGHT		11. GARAGE		12. BALCONY / METAL RAILING	
								13. TRELLIS		14. FRENCH DOORS	
								15. SIGNAGE		16. CANOPY	
								17. "CHIMNEY" (PLUMBING / VENT STACKS)			

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**ARCHITECTURE INC**  
 1645 NW HOYT  
 PORTLAND OREGON 97209  
 503 444 2200

- LEGEND:
- LANDSCAPE AREA
  - OPEN SPACE AREA
  - RESIDENTIAL AREA
  - RETAIL WITH RESIDENTIAL ABOVE
  - OUTLINE OF PARKING GARAGE BELOW
  - MIXED USE TRASH ROUTE
  - TOWNHOUSE / ROWHOUSE TRASH ROUTE

CITY STAMP

# WESTPORT CUPERTINO

KT URBAN  
 21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148  
 DRAWN: Author  
 DATE: 2018 MAY 17  
 SITE PLAN APPLICATION

REVISION: DESCRIPTION:  
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SITE PLAN APPLICATION

SHEET TITLE:  
**TRUCK & GARBAGE ROUTES**

SHEET NO.:  
**G300**



1 ARCHITECTURAL SITE PLAN - TRUCK & GARBAGE ROUTES  
 G300 1" = 40'-0"

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