



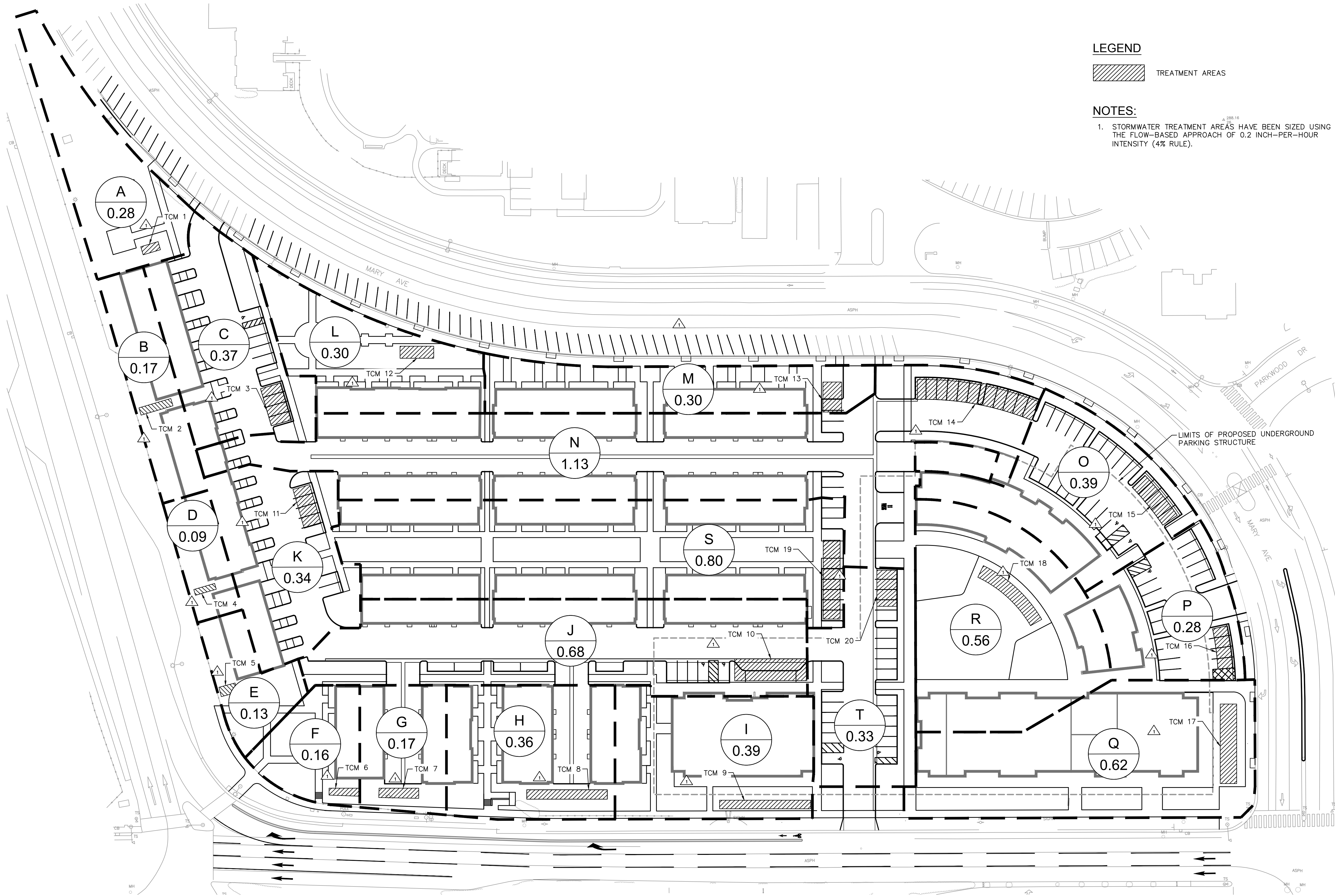
ARCHITECTURE INC
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

LEGEND

 TREATMENT AREAS

NOTES:

1. STORMWATER TREATMENT AREAS HAVE BEEN SIZED USING THE FLOW-BASED APPROACH OF 0.2 INCH-PER-HOUR INTENSITY (4% RULE).



CITY STAMP

**WESTPORT
CUPERTINO**

KT URBAN
21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO. 14148

DRAWN: Author

DATE: 2018 JULY 13
SITE PLAN APPLICATION

REVISION	DESCRIPTION
1	7.13.18 PLANNING COMMENT RESPONSES
2	11.30.18 PLANNING COMMENT RESPONSES
3	02.27.19 PLANNING COMMENT RESPONSES

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

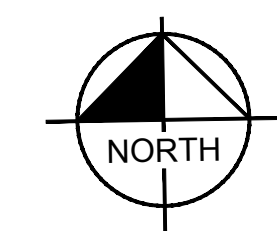
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SITE PLAN APPLICATION

SHEET TITLE:
**PRELIMINARY
STORMWATER
CONTROL PLAN**

SHEET NO.:

C2

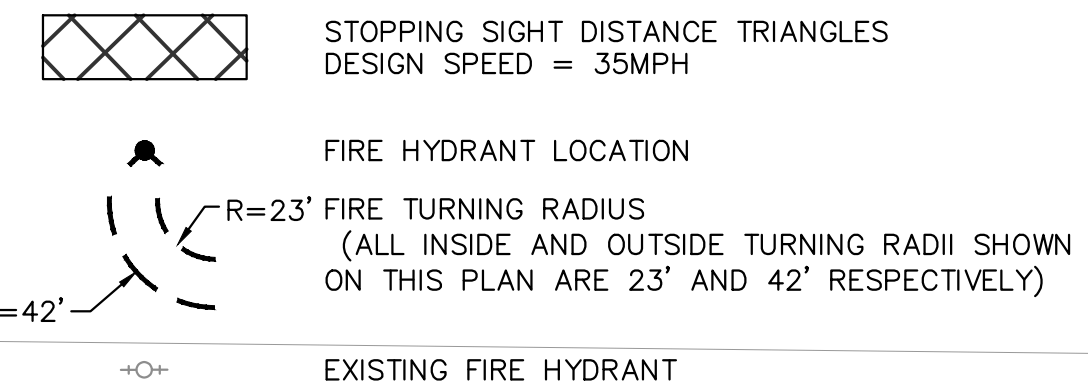


GRAPHIC SCALE IN FEET
0 20 40 80

GENERAL FIRE NOTES:

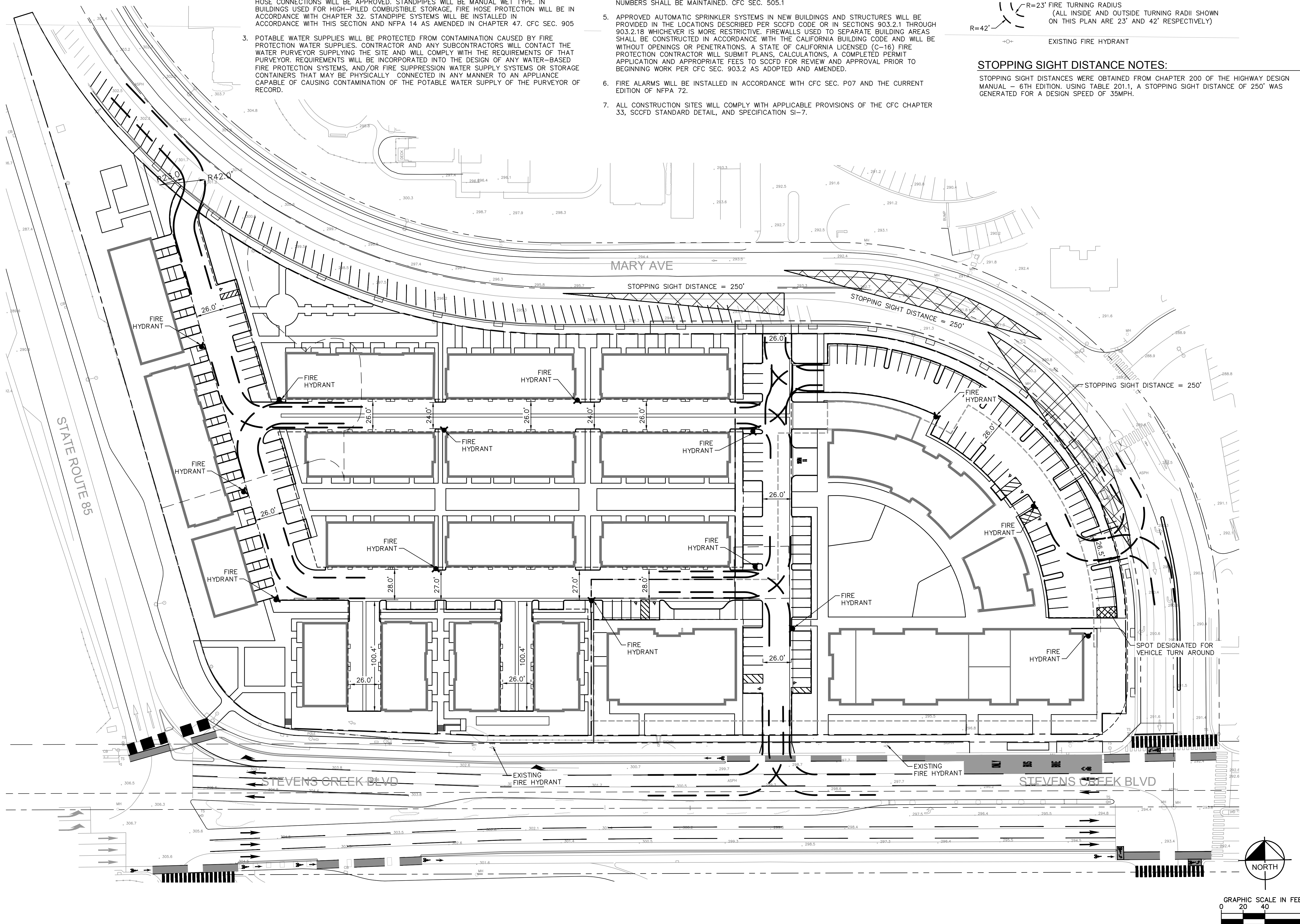
1. ALL NEW BUILDINGS WILL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING PER CFC SEC. 510.
2. STANDPIPE SYSTEMS WILL BE PROVIDED IN NEW BUILDINGS AND STRUCTURES. FIRE HOSE THREADS USED IN CONNECTION WITH STAND PIPE SYSTEMS WILL BE APPROVED AND WILL BE COMPATIBLE WITH FIRE DEPARTMENT HOSE THREADS. THE LOCATION OF FIRE DEPARTMENT HOSE CONNECTIONS WILL BE APPROVED. STANDPIPES WILL BE MANUAL WET TYPE. IN BUILDINGS USED FOR HIGH-PILED COMBUSTIBLE STORAGE, FIRE HOSE PROTECTION WILL BE IN ACCORDANCE WITH CHAPTER 32. STANDPIPE SYSTEMS WILL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND NFPA 14 AS AMENDED IN CHAPTER 47, CFC SEC. 905
3. POTABLE WATER SUPPLIES WILL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. CONTRACTOR AND ANY SUBCONTRACTORS WILL CONTACT THE WATER PURVEYOR SUPPLYING THE SITE AND WILL COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. REQUIREMENTS WILL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.
4. NEW AND EXISTING BUILDINGS WILL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THESE NUMBERS WILL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS WILL BE PROVIDED IN ADDITIONAL LOCATIONS TO FACILITATE EMERGENCY RESPONSE AS DETERMINED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS WILL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS WILL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5". ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1
5. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES WILL BE PROVIDED IN THE LOCATIONS DESCRIBED PER SCCFD CODE OR IN SECTIONS 903.2.1 THROUGH 903.2.18, WHICHEVER IS MORE RESTRICTIVE. FIREWALLS USED TO SEPARATE BUILDING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND WILL BE WITHOUT OPENINGS OR PENETRATIONS. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR WILL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO SCCFD FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK PER CFC SEC. 903.2 AS ADOPTED AND AMENDED.
6. FIRE ALARMS WILL BE INSTALLED IN ACCORDANCE WITH CFC SEC. P07 AND THE CURRENT EDITION OF NFPA 72.
7. ALL CONSTRUCTION SITES WILL COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33, SCCFD STANDARD DETAIL, AND SPECIFICATION SI-7.

LEGEND



STOPPING SIGHT DISTANCE NOTES:

STOPPING SIGHT DISTANCES WERE OBTAINED FROM CHAPTER 200 OF THE HIGHWAY DESIGN MANUAL - 6TH EDITION, USING TABLE 201.1, A STOPPING SIGHT DISTANCE OF 250' WAS GENERATED FOR A DESIGN SPEED OF 35MPH.



CITY STAMP

**WESTPORT
CUPERTINO**

KT URBAN

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO. 14148
DRAWN: Author
DATE: 2018 JULY 13
SITE PLAN APPLICATION

REVISION	DESCRIPTION
1	7.13.18 PLANNING COMMENT RESPONSES
2	11.30.18 PLANNING COMMENT RESPONSES
3	02.27.19 PLANNING COMMENT RESPONSES

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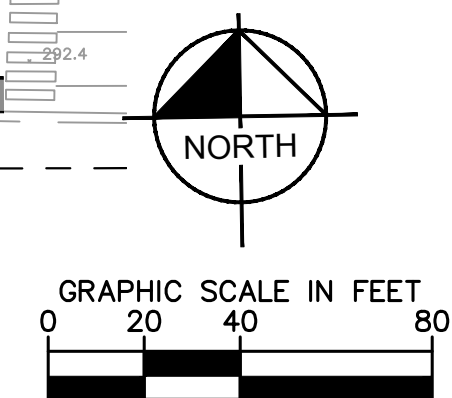
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SITE PLAN APPLICATION

SHEET TITLE:
**TRUCK TURNS
AND SIGHT
EXHIBITS**

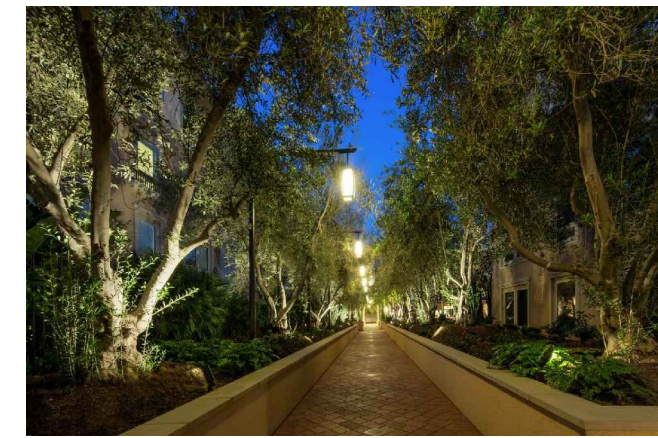
SHEET NO.:

C4





Character: Palm Walk



Character: Pedestrian Corridors



Character: Residential Landscape



Character: Corner Parks



Character: Accent trees



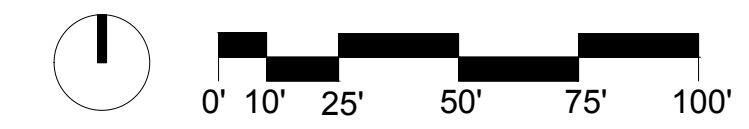
Character: Central Green

KEY

- Landscape Zone: Groundcovers and Shrubs
- Landscape Zones: Lawn
- Landscape Zones: Stormwater Planters
- Asphalt Pavement
- Scored Concrete Pavement
- Concrete Unit Pavers
- Concrete Sidewalk Pavement

△ Note: Vehicular Concrete and Pavers will be Service/Emergency Vehicle Rated

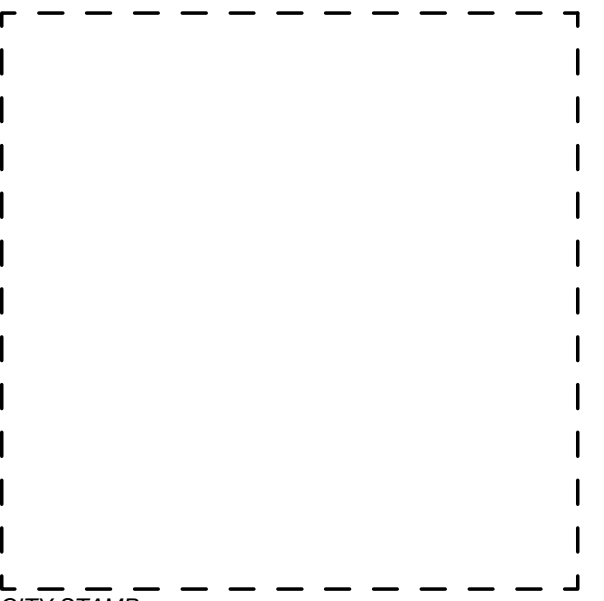
- Existing Trees (08)
- Existing Relocated Trees (02 - 04)
- Proposed Trees (393)



1645 NW HOYT
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PLACE

735 NW 18TH AVE
PORTLAND, OR 97209
(503) 334 2080



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KT URBAN

21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148

DRAWN: MCS

DATE: 2018 MAY 11
SITE PLAN APPLICATION

REVISION: DESCRIPTION:
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SITE PLAN APPLICATION

SHEET TITLE:
LANDSCAPE PLAN

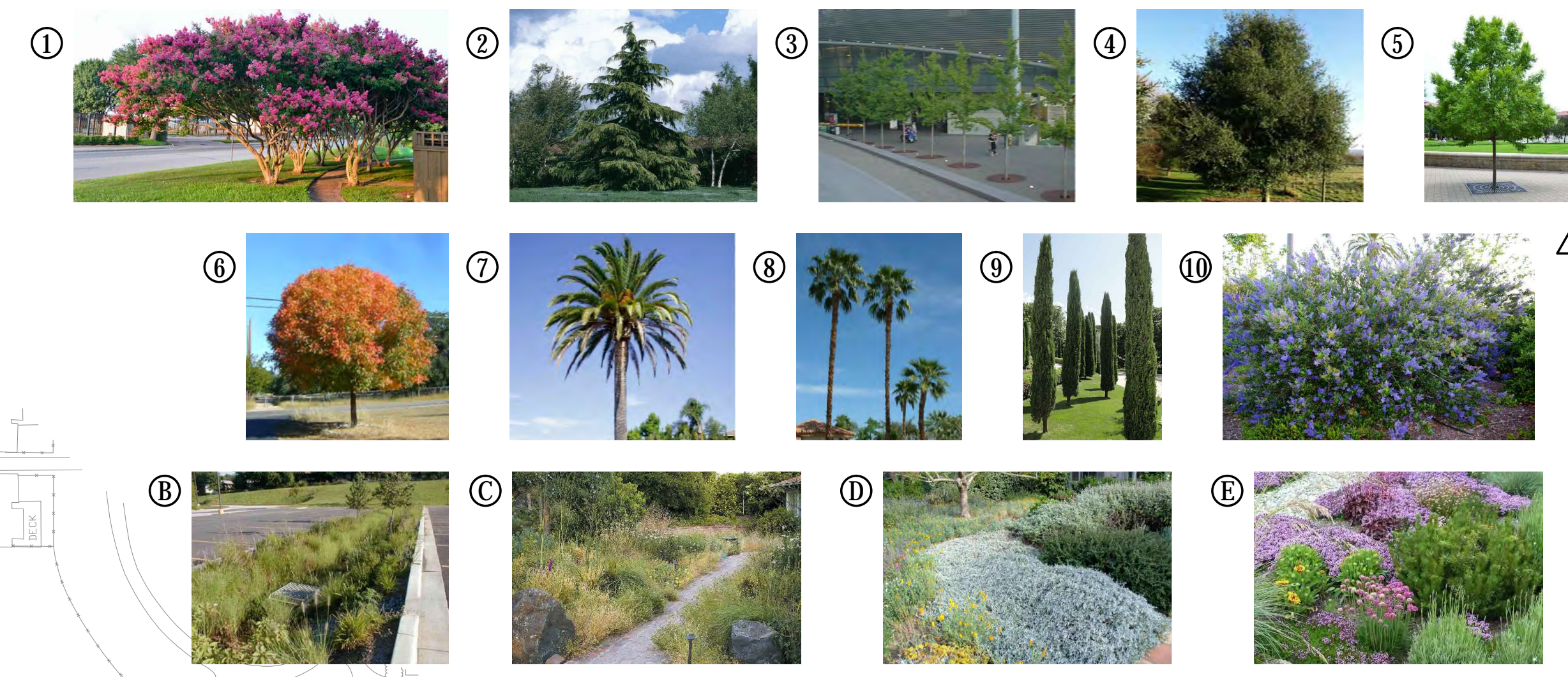
SHEET NO.:

L.100

1 LANDSCAPE PLAN
L.100
1" = 40'-0"

STEVENS CREEK BLVD

STEVENS CREEK BLVD

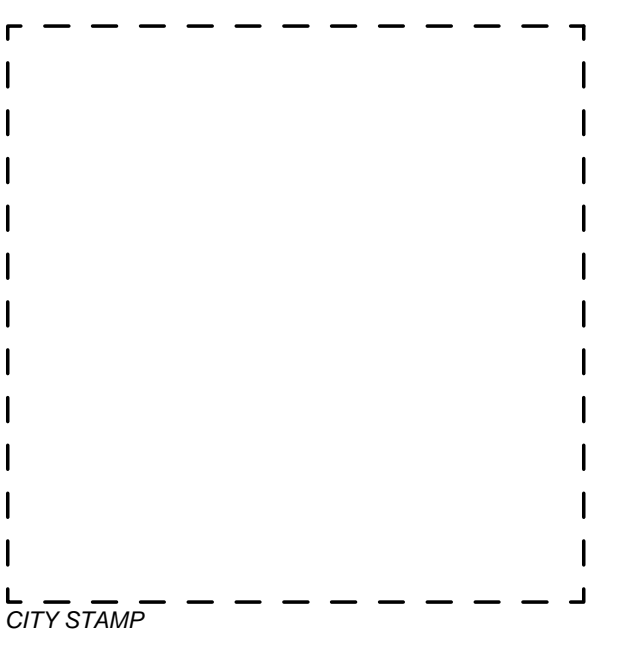


PLANTING PALETTE			
KEY	COMMON NAME	BOTANICAL NAME	LOCATION / NOTES
TREES			
1	CRAPE MYRTLE	LAGERSTROEMIA X FAURIEI	RESIDENTIAL CORRIDORS
2	DEODAR CEDAR	CEDRUS DEODARA	NORTH, SOUTHWEST PARKS, WEST BOUNDARY
3	GINGKO 'PRINCETON SENTRY'	GINGKO BLOBA 'P.S.'	NORTHWEST, SOUTHWEST PARKS, SOUTHEAST RETAIL
4	CALIFORNIA LIVE OAK	QUERCUS AGRIFOLIA	FRONTAGE ALONG STEVENS BLVD.
5	'BOSQUE' CHINESE ELM	ULMUS PARVIFOLIA 'BOSQUE'	STREET TREES ALONG MARY AVE.
6	CHINESE PISTACHE	PISTACIA CHINENSIS	INTERIOR PARKING CORRIDOR ZONES
7	DATE PALM	PHOENIX CANARIENSIS	ENTRY & TERMINUS MARKERS, CENTRAL GREEN
8	MEXICAN FAN PALM	WASHINGTONIA ROBUSTA	PASEO AT CENTRAL RESIDENTIAL UNITS
9	ITALIAN CYPRESS	CUPRESSUS SEMPERVIRENS	RESIDENTIAL ALLEYWAYS
10	CALIFORNIA LILAC	CEANOTHUS RAY HARTMAN	FRONTAGE ALONG STEVENS CREEK
	EXISTING TREES TO REMAIN	VARIOUS (SEE L.300)	PERMETER TREES
	RELOCATED TREE	QUERCUS AGRIFOLIA	RELOCATED TO VARIOUS LOCATIONS AT WEST SIDE
SHRUBS AND GROUNDCOVERS			
A	LAWN	BOUTELOUA SPP.	CENTRAL PASEO, CENTRAL GREEN, CORNER PARKS
B	STORM WATER PLANTINGS	VARIOUS SEDGES, GRASSES, NATIVE PERENNIALS & SHRUBS	THROUGHOUT, SEE CIVIL PLANS
C	NATIVE / ORNAMENTAL GRASSES	NATIVE AND LOW WATER USE	RESIDENTIAL FRONTS, PERMETER, THROUGHOUT
D	NATIVE GROUNDCOVER MIXES	NATIVE GROUNDCOVERS & WILDFLOWERS	WEST BOUNDARY, STEVENS CREEK FRONTAGE
E	ACCENT PLANTINGS (NATIVE MIXES)	NATIVE AND LOW WATER USE	PLANTERS THROUGHOUT, CENTRAL GREEN



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KT URBAN
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DRAWN: MCS
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SITE PLAN APPLICATION

SHEET TITLE:
PLANTING PLAN

SHEET NO.:
L.200

ASH (5)

ASH

RELOCATED OAKS

GUM

GUM

RELOCATED OAK

RELOCATED OAK

1 PLANTING PLAN
L.200
1" = 40'-0"

STEVENS CREEK BLVD

STEVENS CREEK BLVD

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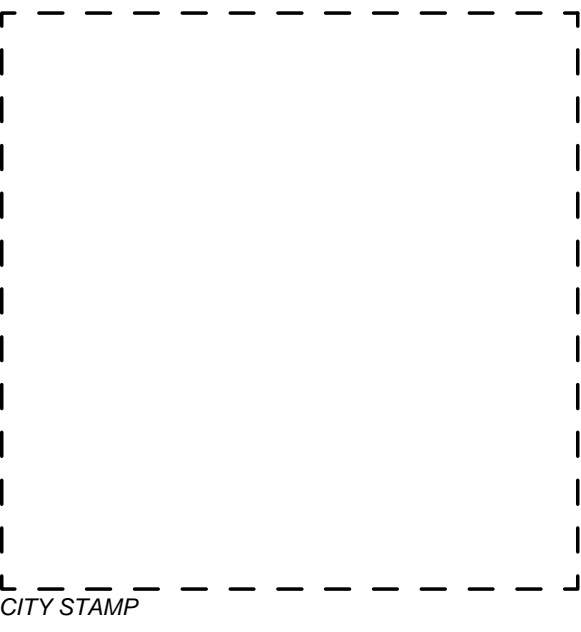
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ARCHITECTURE INC
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

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735 NW 18TH AVE
PORTLAND, OR 97209
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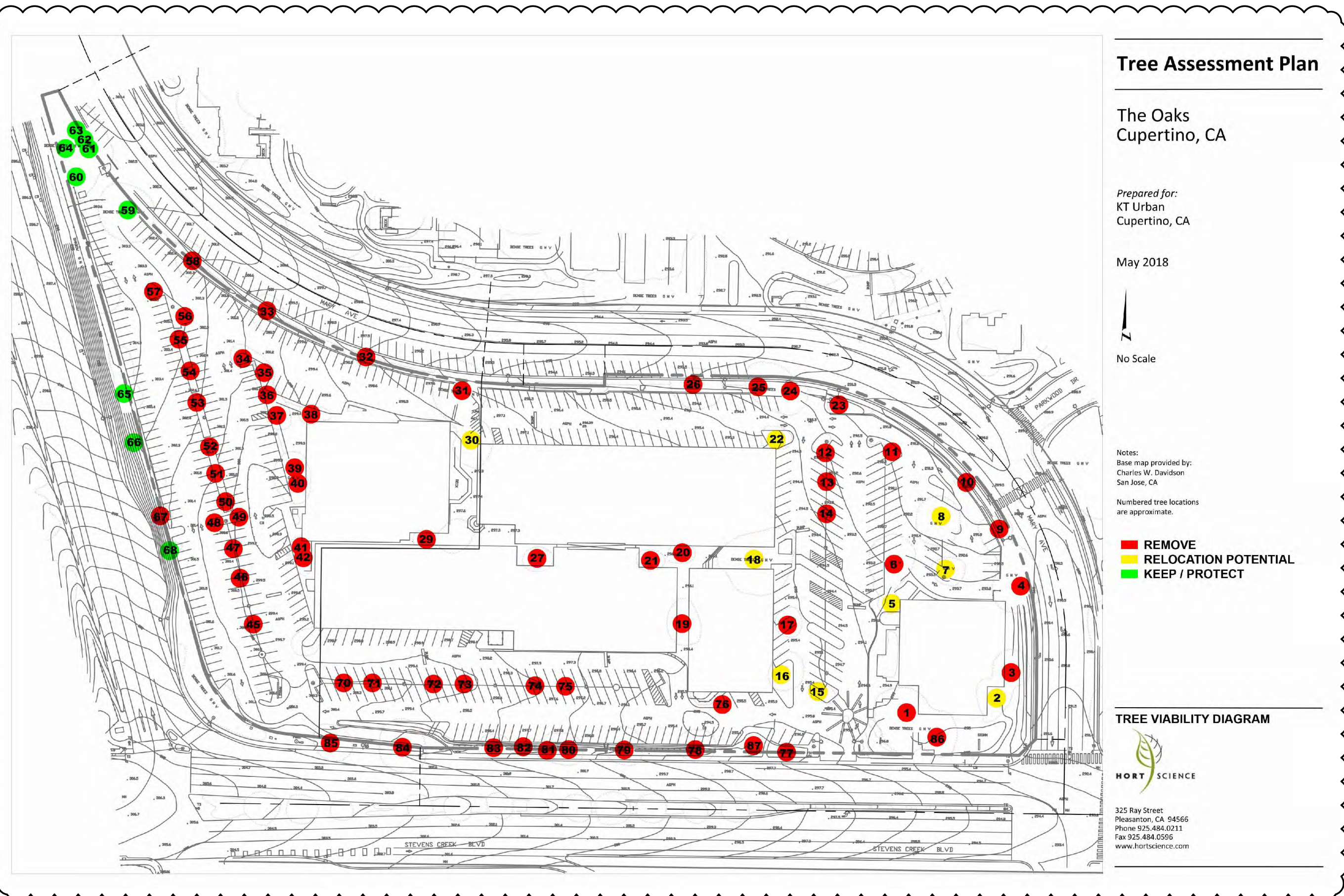
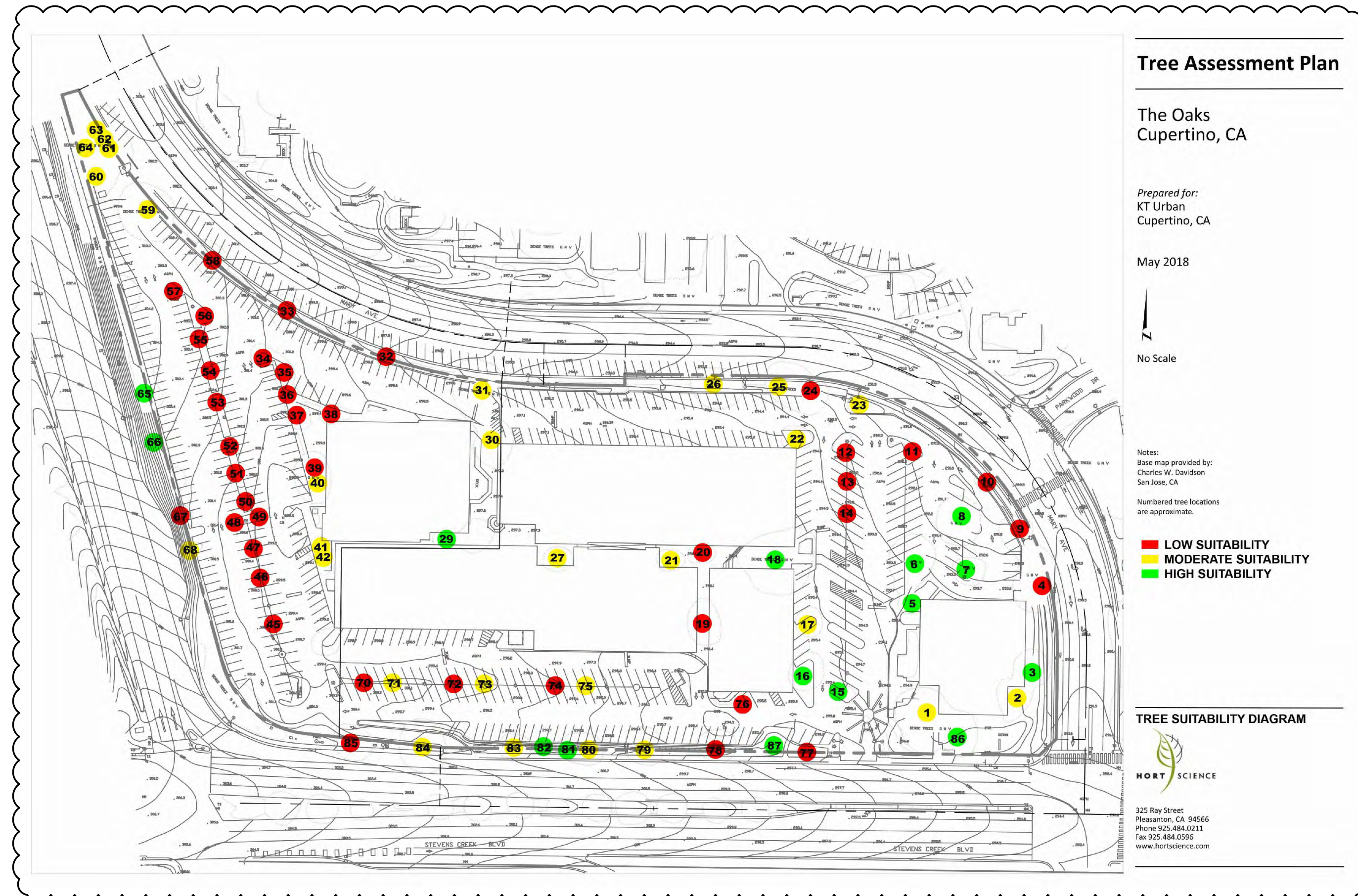
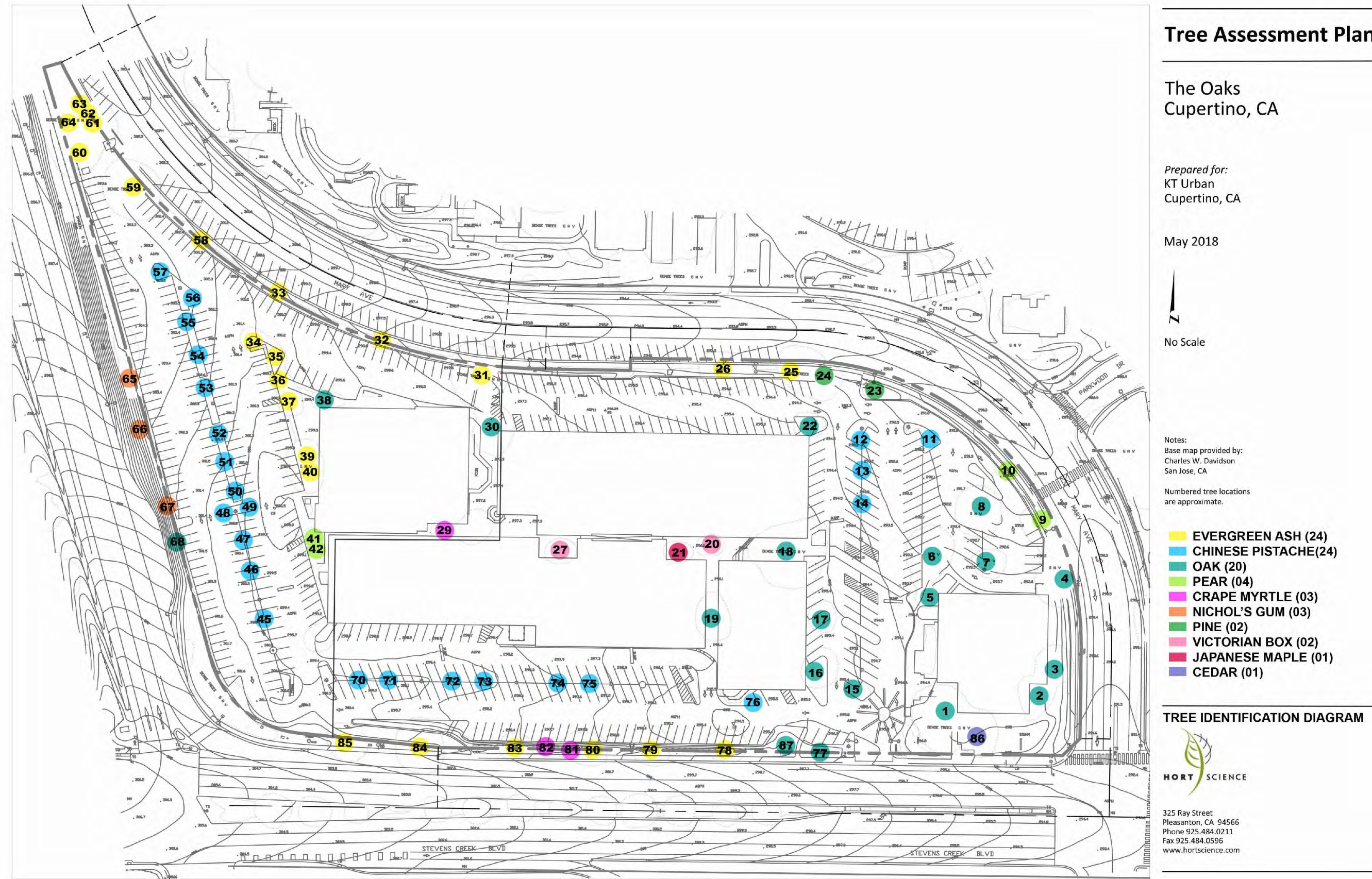
DATE: 2018 MAY 11
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SHEET TITLE:
TREE ASSESSMENT PLAN

SHEET NO.:
L.300



A Tree Assessment prepared by Hort Science in March 2015 (and recently updated on May 2018), surveyed and documented the condition of existing vegetation at The Oaks/Westport site, taking into consideration the viability of vegetation in the context of the proposed project's Site Plan. The arborist performed a survey and assessment on site, providing identification, quantities, size, and viability; furthermore, they provided a suitability score to the existing trees ranked in High, Moderate and Low. The configuration of the proposed development does not allow for most of the interior trees to remain, given the extent, location and massing of the proposed structures. The majority of the interior trees, however, fall in the low suitability category.

Per the August 2018 City Review, assisted by consulting Arborist Michael L. Bench (ISAC #WE 1897A), some of the existing tree assessments have been revised, particularly identifying a few trees that have a higher potential for relocation. The Updated Viability plan shows those trees marked in yellow, which will be further studied and evaluated for relocation within the project boundary. A few locations have been identified that could be suitable for relocating salvaged trees. This needs to be confirmed by a transplant contractor to consider survivability aspects per construction schedules and viability of the trees. See Planting Plan L200 for proposed possible locations for transplanted trees.

The planting palette seeks to integrate and reinforce the site's perimeter with additional plantings of Oaks, providing continuity to the character of the site. The plan also maintains several of the perimeter trees along the West and Northwest perimeter edges, which include Evergreen Ash specimens that will provide character and retain environmental value for the development. Please refer to the Landscape and Planting plans.

1 TREE ASSESSMENT PLAN
L.300 NOT TO SCALE

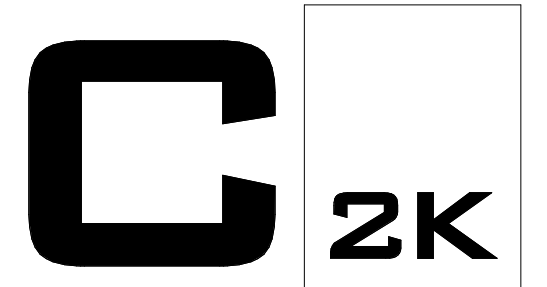
SITE PLAN APPLICATION

GENERAL NOTES - SITE PLAN

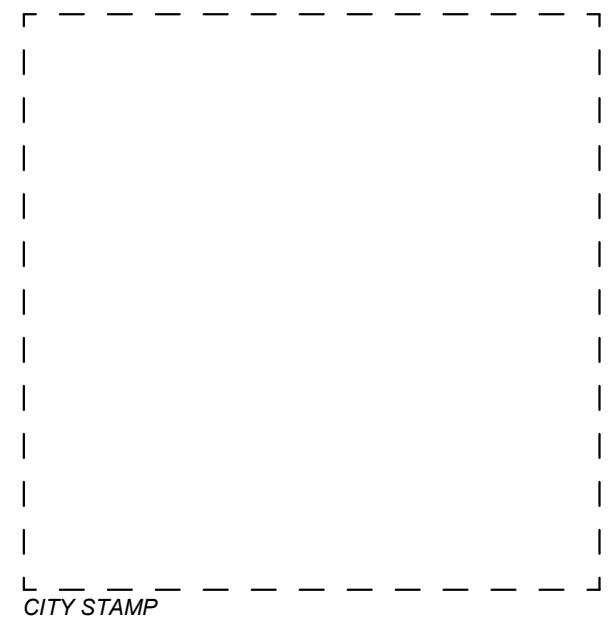
1. SEE PROJECT SUMMARY SHEET G202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G203 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G206A, G206B, G206C FOR OPEN SPACE CALCS.
4. SEE SHEET G202, A200 AND A201 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA INFO.
6. SEE CIVIL DRAWINGS FOR VEHICLE ACCESS TURNING RADIUS AND STREET DESIGN

LEGEND:

- RESIDENTIAL AREA
- RETAIL WITH RESIDENTIAL ABOVE
- LANDSCAPING



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 1645 NW HOYT
 PORTLAND OREGON 97209
 503 444 2200



WESTPORT CUPERTINO

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KT URBAN

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
 DRAWN: Author
 DATE: 2018 MAY 11
 SITE PLAN APPLICATION

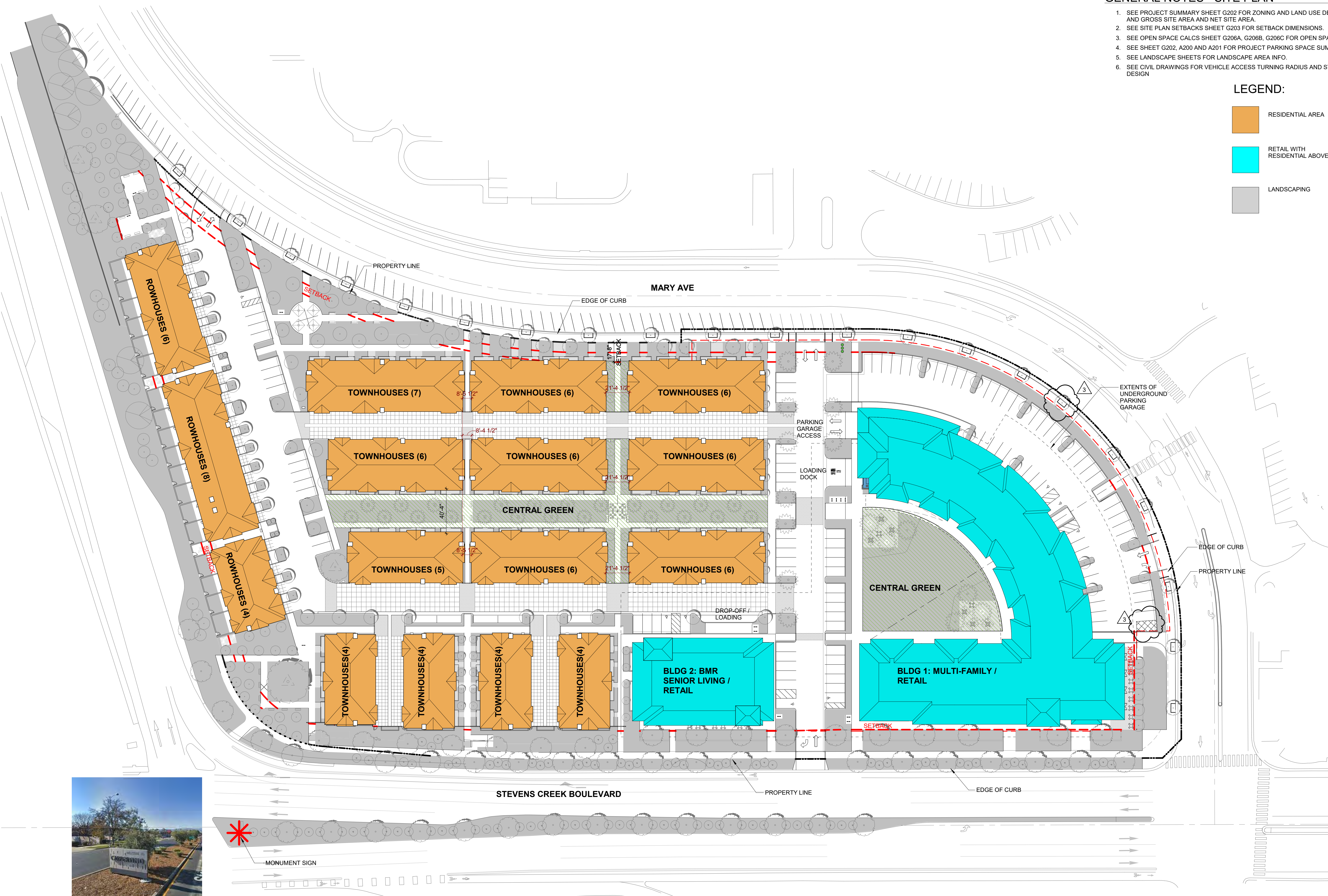
REVISION:	DESCRIPTION:
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2 11.30.18	PLANNING COMMENT RESPONSES
3 02.27.20	PLANNING COMMENT RESPONSE

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SITE PLAN APPLICATION

SHEET TITLE:
SITE PLAN

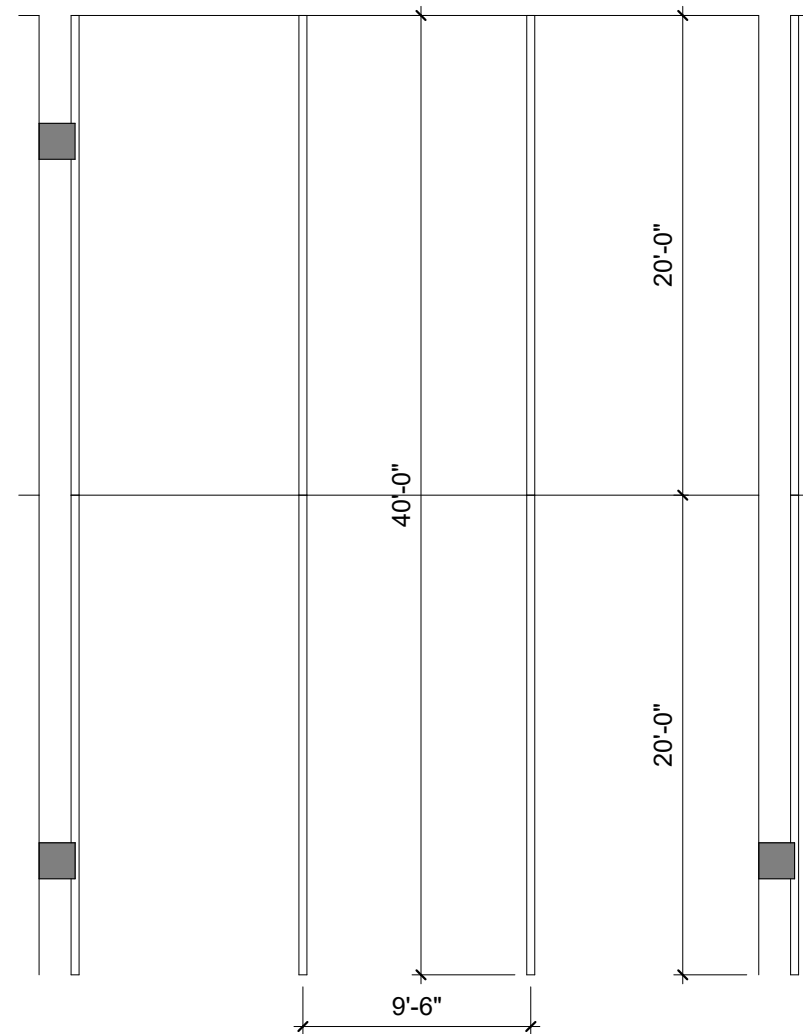
SHEET NO.:
A001



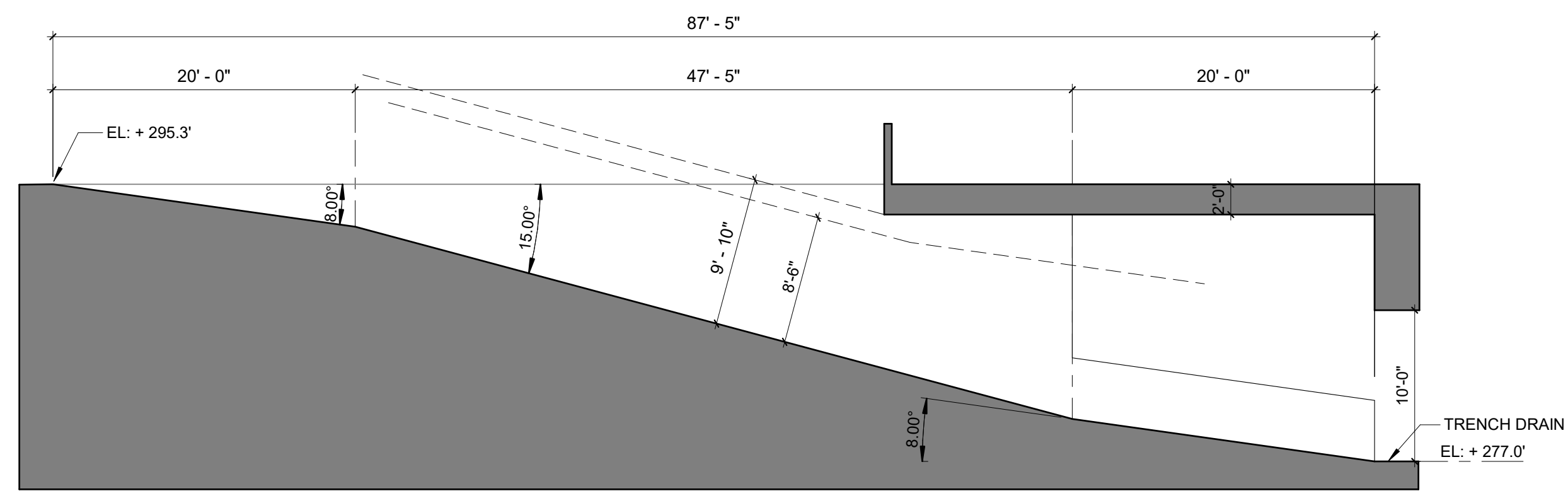
1 ARCHITECTURAL SITE PLAN
 A001 1" = 40'-0"

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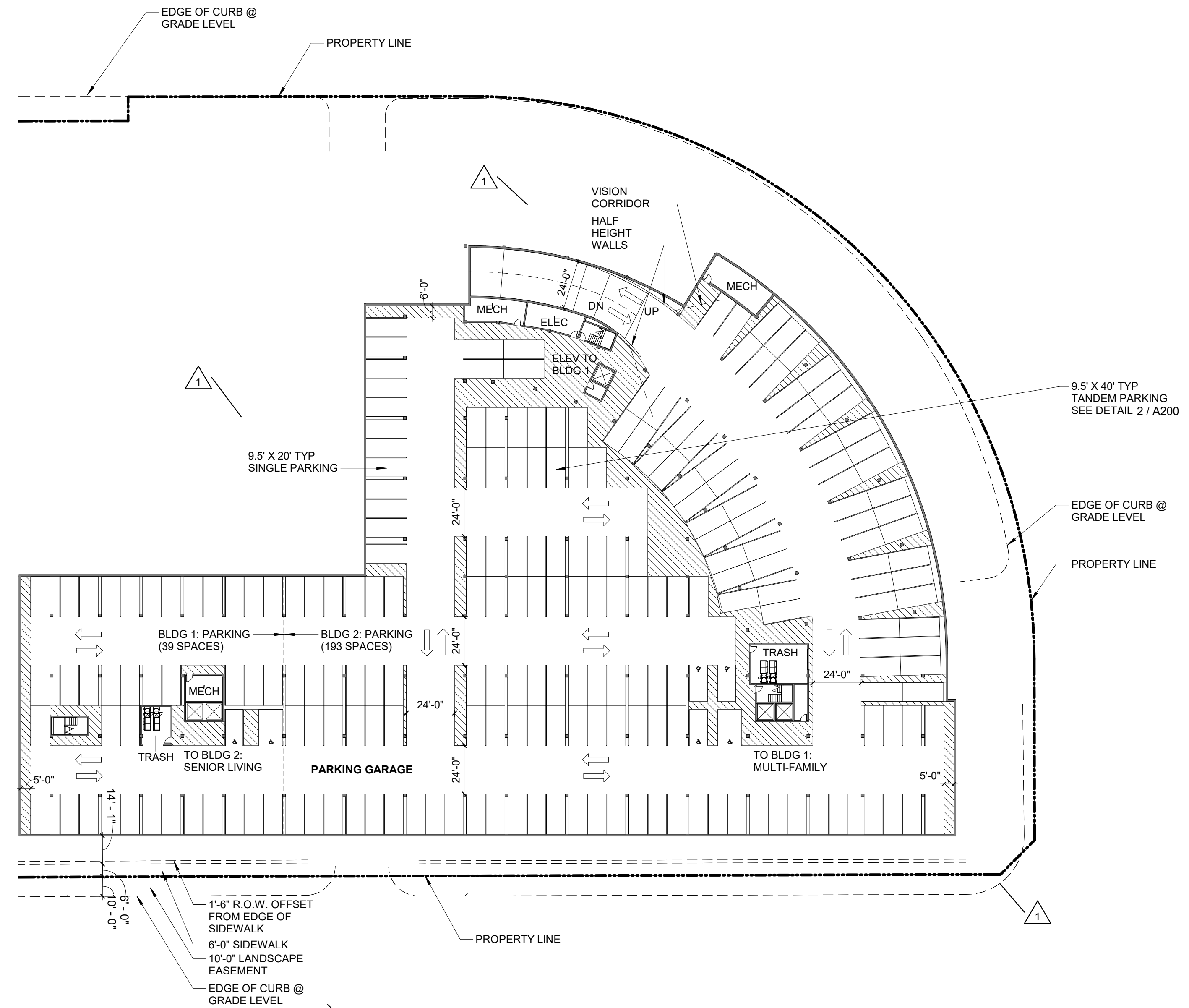
2 TYP. PARKING SPACE - TANDEM
1/8" = 1'-0"



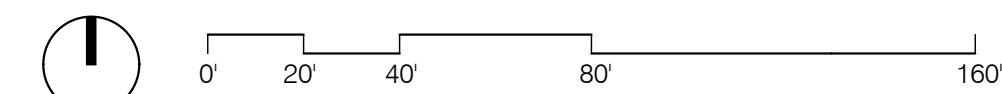
4 SECTION - PARKING GARAGE RAMP
1/8" = 1'-0"

USE:	REQUIRED PARKING:	SIZE:	PROVIDED PARKING:	SIZE:	NOTES:
BUILDING 1 - RETAIL (INCLUDED IN TOTAL) ACCESSIBLE - CAR ACCESSIBLE - VAN	70 TOTAL SPACES 3 SPACES 1 SPACES	UNI-SIZE 9'X18' 12'X18'	73 TOTAL SPACES 3 SPACES 1 SPACES	UNI-SIZE 9'X18' 12'X18'	LOCATED AT GRADE. LOCATED AT GRADE.
BUILDING 2 - RETAIL (INCLUDED IN TOTAL) ACCESSIBLE - CAR ACCESSIBLE - VAN	10 TOTAL SPACES 0 SPACES 1 SPACES	UNI-SIZE 9'X18' 12'X18'	10 TOTAL SPACES 0 SPACES 1 SPACES	UNI-SIZE 9'X18' 12'X18'	LOCATED AT GRADE. LOCATED AT GRADE.
BUILDING 1 - RESIDENTIAL:	185 TOTAL SPACES: 185 COVERED 0 OPEN	9.5'X20' 9.5'X20X 9'X18' 12'X18'	193 TOTAL SPACES 74 COVERED TANDEM SPACES 119 COVERED SINGLE SPACES 0 OPEN SPACES (INCLUDED IN TOTAL) 3 SPACES 1 SPACE	9.5'X40' 9.5'X20' 9'X18' 12'X18'	ALL RESIDENTIAL SPACES IN GARAGE AND ASSIGNED TO UNIT. ALL TANDEM SPACES ASSIGNED TO A SINGLE UNIT. LOCATED IN GARAGE. LOCATED IN GARAGE.
BUILDING 2 - RESIDENTIAL:	39 TOTAL SPACES: 39 COVERED 0 OPEN	9.5'X20' 9.5'X20' 9'X18' 12'X18'	39 TOTAL SPACES 30 COVERED SPACES 0 SPACES 1 SPACES 1 SPACE	9.5'X20' N/A 9'X18' 12'X18'	ALL RESIDENTIAL SPACES IN GARAGE AND ASSIGNED TO UNIT. LOCATED IN GARAGE. LOCATED IN GARAGE.
TOWNHOUSES / ROWHOUSES	176 TOTAL SPACES 176 COVERED 0 OPEN	10'X20' 12'X18' 9'X18' 12'X18'	210 TOTAL SPACES 176 COVERED 34 OPEN 4 SPACES 2 SPACES 1 SPACE	10'X20' UNI-SIZE 12'X18' 9'X18' 12'X18'	LOCATED IN GARAGE IN UNITS LOCATED AT GRADE. IN GARAGE IN ACCESSIBLE UNIT. LOCATED AT GRADE. LOCATED AT GRADE.
TOTAL:	480 SPACES		524 SPACES		

GARAGE :	REQUIRED PARKING	TYPE	PROVIDED PARKING:	TYPE:	NOTES:
BUILDING 1 - RETAIL: LONG TERM SHORT TERM	3.6 SPACES 14.08 SPACES	CLASS I CLASS II	4 SPACES 16 SPACES	CLASS I CLASS II	LOCATED IN SECURE BIKE ROOM IN BLDG. LOCATED ADJACENT TO BUILDING
BUILDING 2 - RETAIL: LONG TERM SHORT TERM	1 SPACES 1.92 SPACES	CLASS I CLASS II	2 SPACES 2 SPACES	CLASS I CLASS II	LOCATED IN SECURE BIKE ROOM IN BLDG. LOCATED ADJACENT TO BUILDING
BUILDING 1 - RESIDENTIAL: LONG TERM SHORT TERM	57.5 SPACES 11.5 SPACES	CLASS I CLASS II	58 SPACES 12 SPACES	CLASS I CLASS II	LOCATED IN SECURE BIKE ROOM IN BLDG LOCATED ADJACENT TO BUILDING
BUILDING 2 - RESIDENTIAL: LONG TERM SHORT TERM	19.5 SPACES 3.9 SPACES	CLASS I CLASS II	20 SPACES 4 SPACES	CLASS I CLASS II	LOCATED IN SECURE BIKE ROOM IN BLDG LOCATED ADJACENT TO BUILDING
TOTAL:	36 SPACES		40 SPACES		



1 PARKING GARAGE BUILDING PLAN B1
1" = 40'-0"



WESTPORT CUPERTINO

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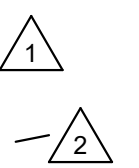
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SITE PLAN APPLICATION

SHEET TITLE:
LEVEL B1 PLAN

SHEET NO.:
A200

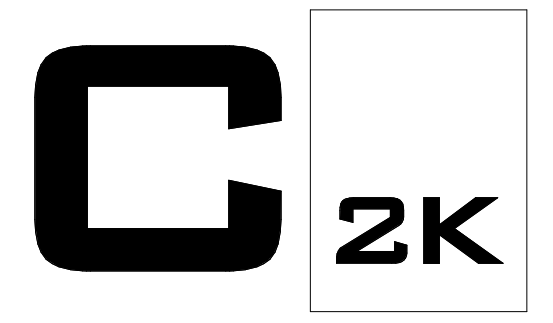


GENERAL NOTES - SITE PLAN

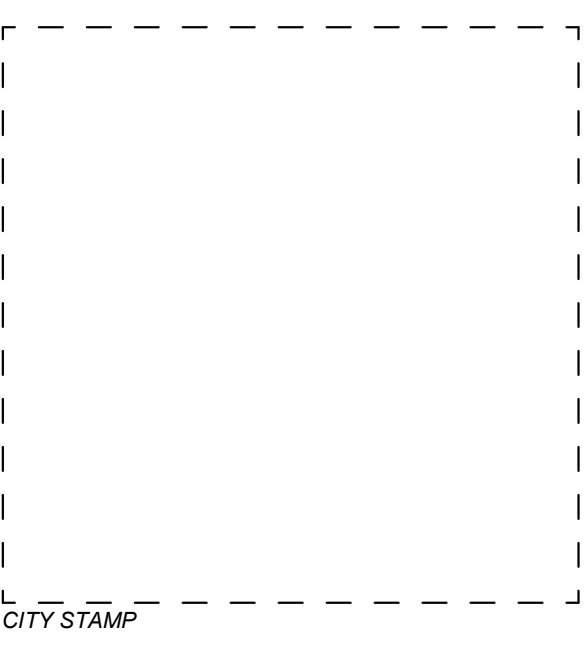
1. SEE PROJECT SUMMARY SHEET G202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G203 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G206A, G206B, G206C FOR OPEN SPACE CALCS.
4. SEE SHEET G202, A200 AND A201 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA INFO.
6. SEE CIVIL DRAWINGS FOR VEHICLE ACCESS TURNING RADIUS AND STREET DESIGN

LEGEND:

- LANDSCAPE AREA
- OPEN SPACE AREA
- RESIDENTIAL AREA
- RETAIL WITH RESIDENTIAL ABOVE
- PROPOSED MAILBOXES
- PROPOSED SHORT TERM BICYCLE PARKING
- PROPOSED TRIO WASTE BINS (WASTE/ RECYCLE/ COMPOST) AND CIGARETTE BUTT URN
- OUTLINE OF PARKING GARAGE BELOW
- RETAIL PARKING: BLDG 1: 72 SPACES (12 ACCESSIBLE) (1 VAN ACCESSIBLE) BLDG 2: 10 SPACES (1 VAN ACCESSIBLE)
- RESIDENTIAL PARKING: TOWNHOUSE / ROWHOUSE "OPEN SPACES": 34 SPACES (1 ACCESSIBLE) (1 VAN ACCESSIBLE)



ARCHITECTURE INC
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200



WESTPORT CUPERTINO

PRELIMINARY,
NOT FOR CONSTRUCTION

KT URBAN

21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 2018 MAY 11
SITE PLAN APPLICATION

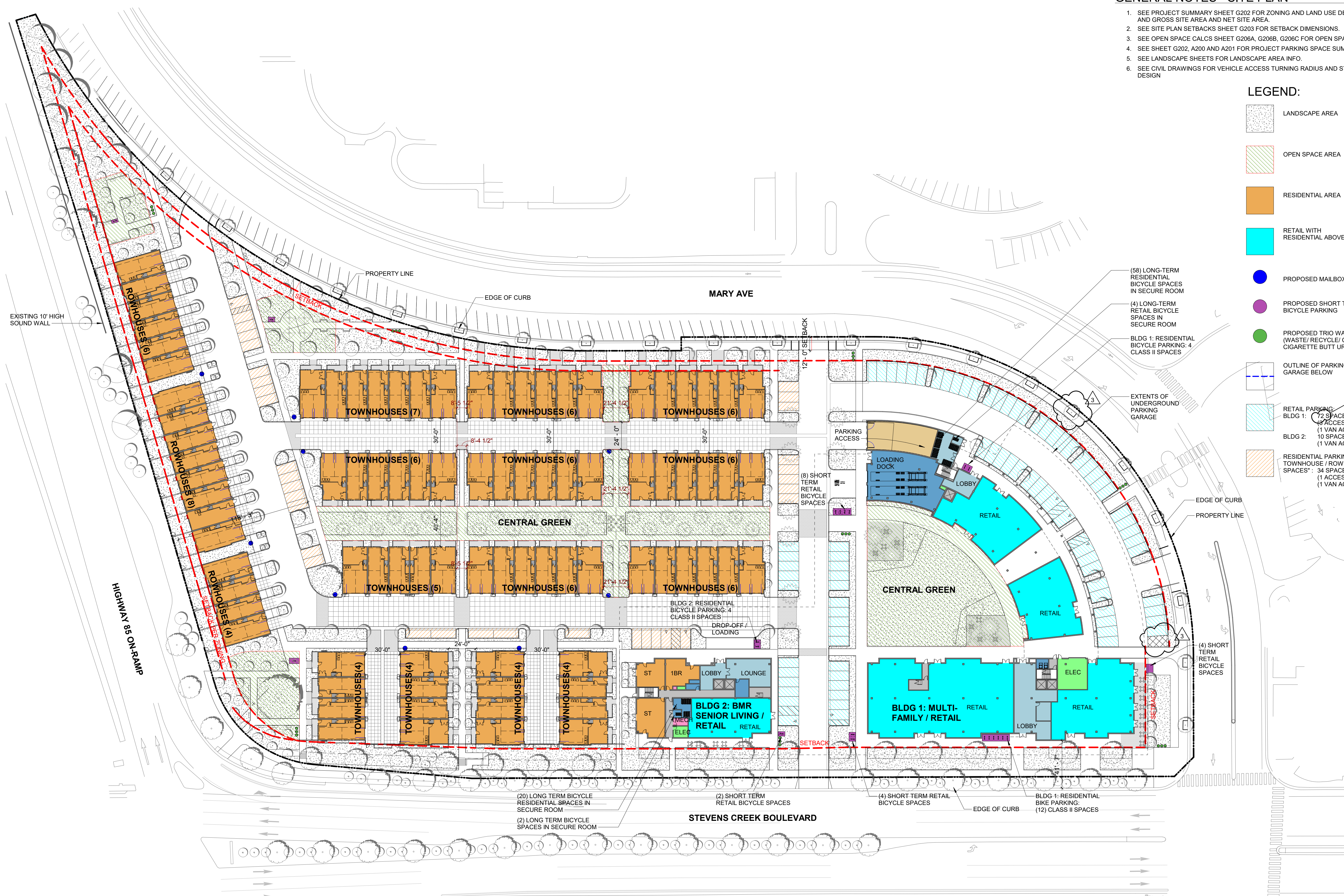
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1	07.13.18 PLANNING COMMENT RESPONSES
2	11.30.18 PLANNING COMMENT RESPONSES
3	02.27.20 PLANNING COMMENT RESPONSE

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SITE PLAN APPLICATION

SHEET TITLE:
LEVEL 1 PLAN

SHEET NO.:
A201



1 LEVEL 1 BUILDING PLANS
A201
1" = 40'-0"

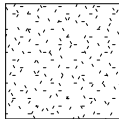


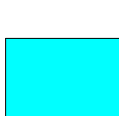
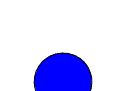
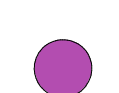
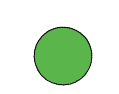
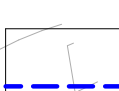
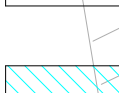
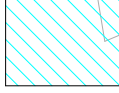

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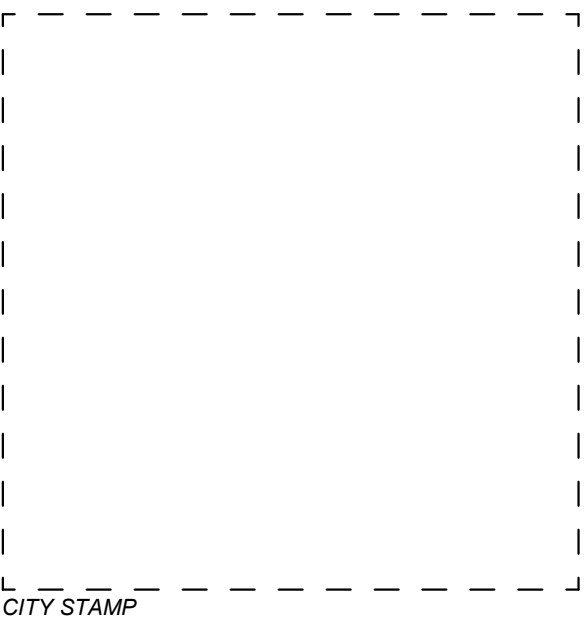
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GENERAL NOTES - SITE PLAN

1. SEE PROJECT SUMMARY SHEET G202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
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5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA INFO.
6. SEE CIVIL DRAWINGS FOR VEHICLE ACCESS TURNING RADIUS AND STREET DESIGN

LEGEND:

-  LANDSCAPE AREA
-  OPEN SPACE AREA
-  RESIDENTIAL AREA
-  RETAIL WITH RESIDENTIAL ABOVE
-  PROPOSED MAILBOXES
-  PROPOSED SHORT TERM BICYCLE PARKING
-  PROPOSED TRIO WASTE BINS (WASTE/RECYCLE/COMPOST) AND CIGARETTE BUTT URN
-  OUTLINE OF PARKING GARAGE BELOW
-  RETAIL PARKING:
BLDG 1: 73 SPACES
(3 ACCESSIBLE)
(1 VAN ACCESSIBLE)
-  BLDG 2: 10 SPACES
(1 VAN ACCESSIBLE)
-  RESIDENTIAL PARKING:
TOWNHOUSE / ROWHOUSE "OPEN SPACES": 34 SPACES
(1 ACCESSIBLE)
(1 VAN ACCESSIBLE)



WESTPORT CUPERTINO

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

KT URBAN
21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 2018 MAY 11
SITE PLAN APPLICATION

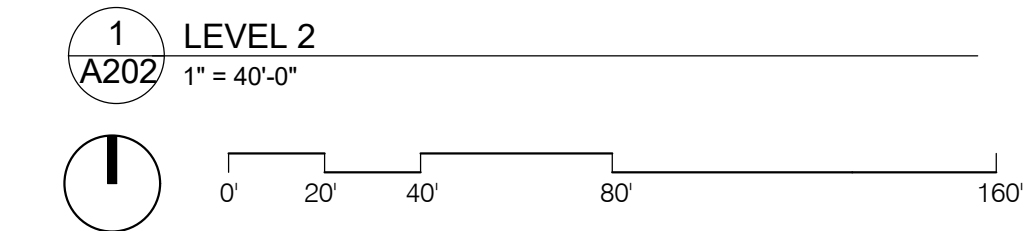
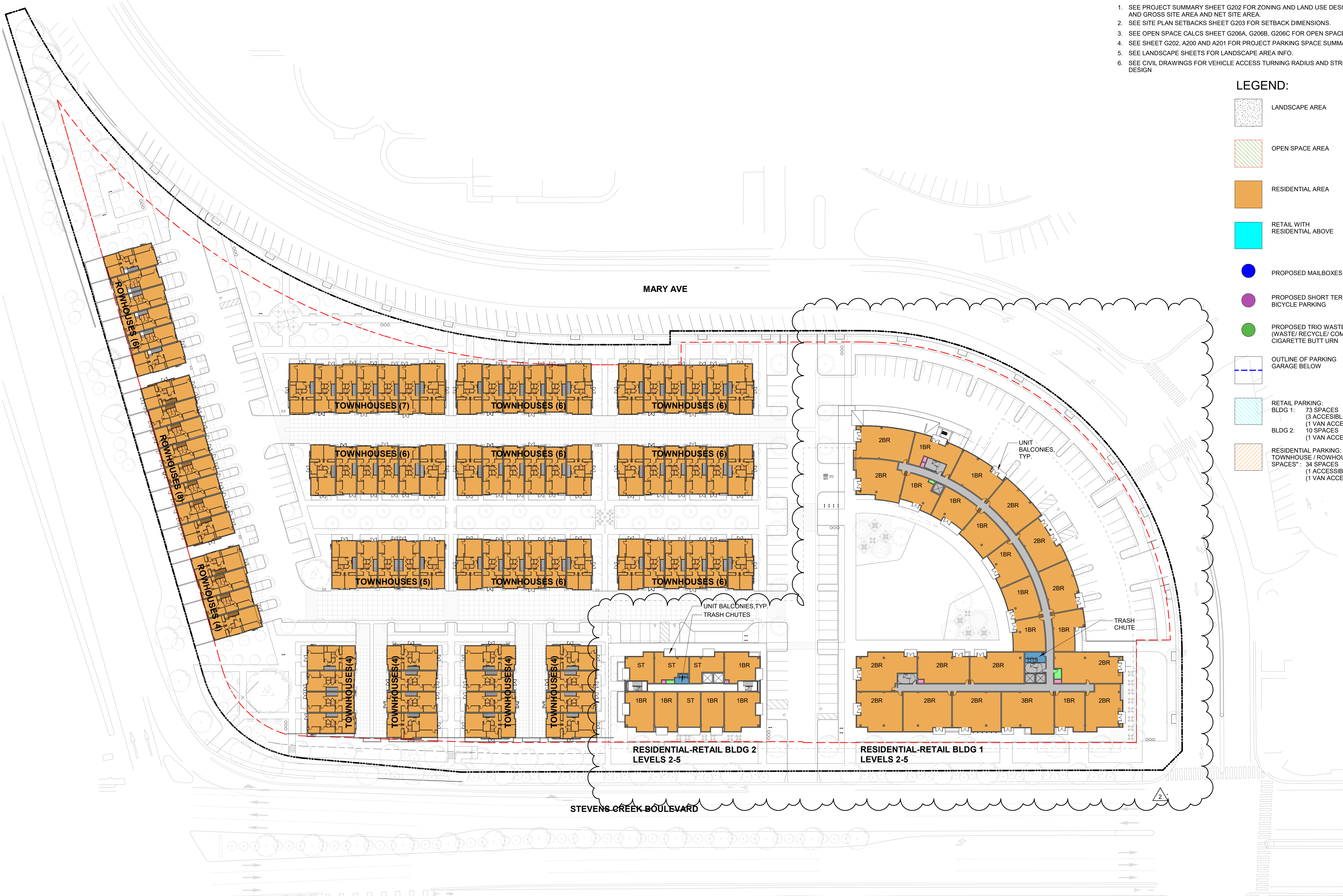
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SITE PLAN APPLICATION

SHEET TITLE:
LEVEL 2-5 PLAN

SHEET NO.:
A202



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