

CANYON CROSSINGS

MIXED-USE DEVELOPMENT

CUPERTINO, CALIFORNIA

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SHEET INDEX

ARCHITECTURE:

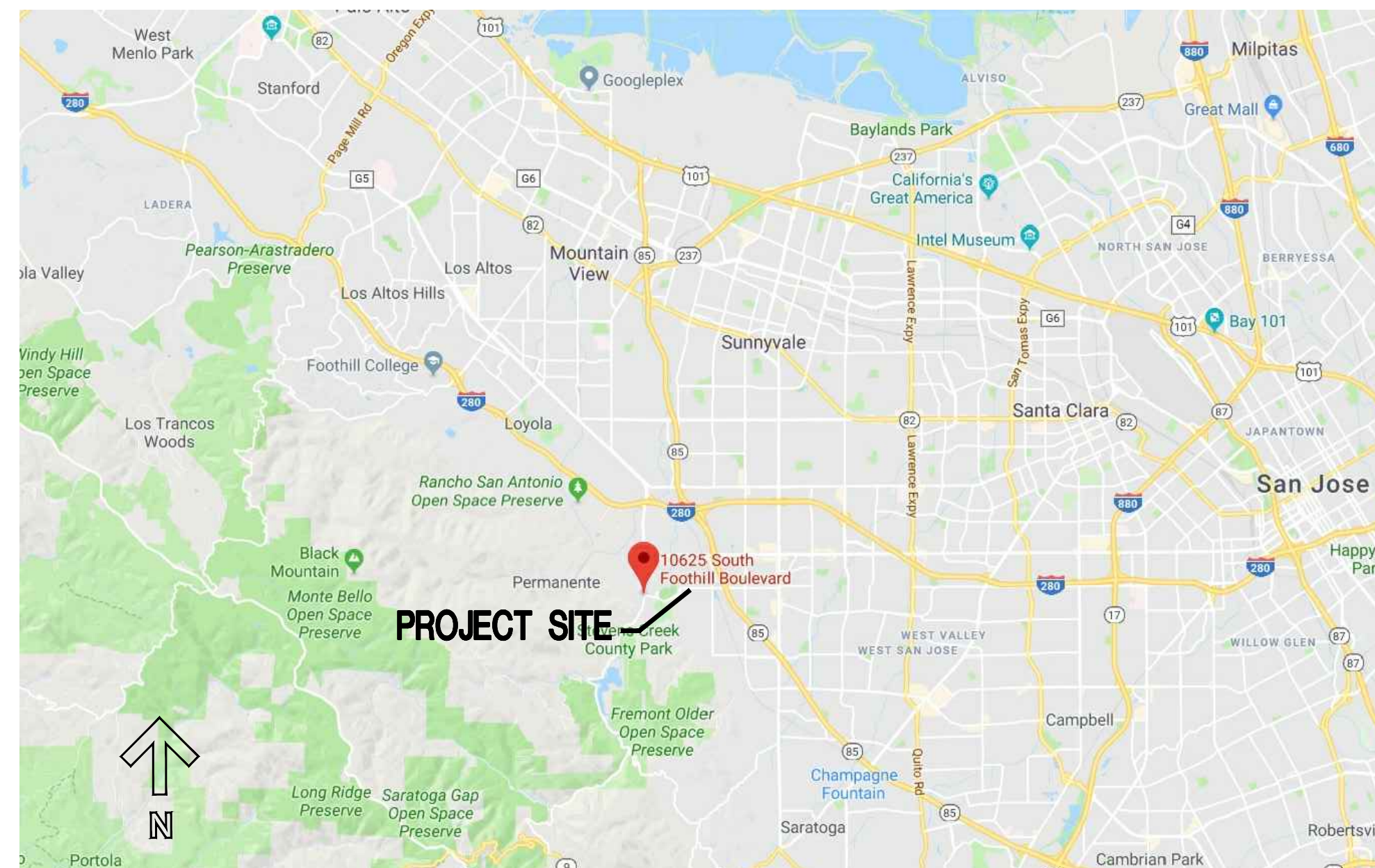
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LANDSCAPE:

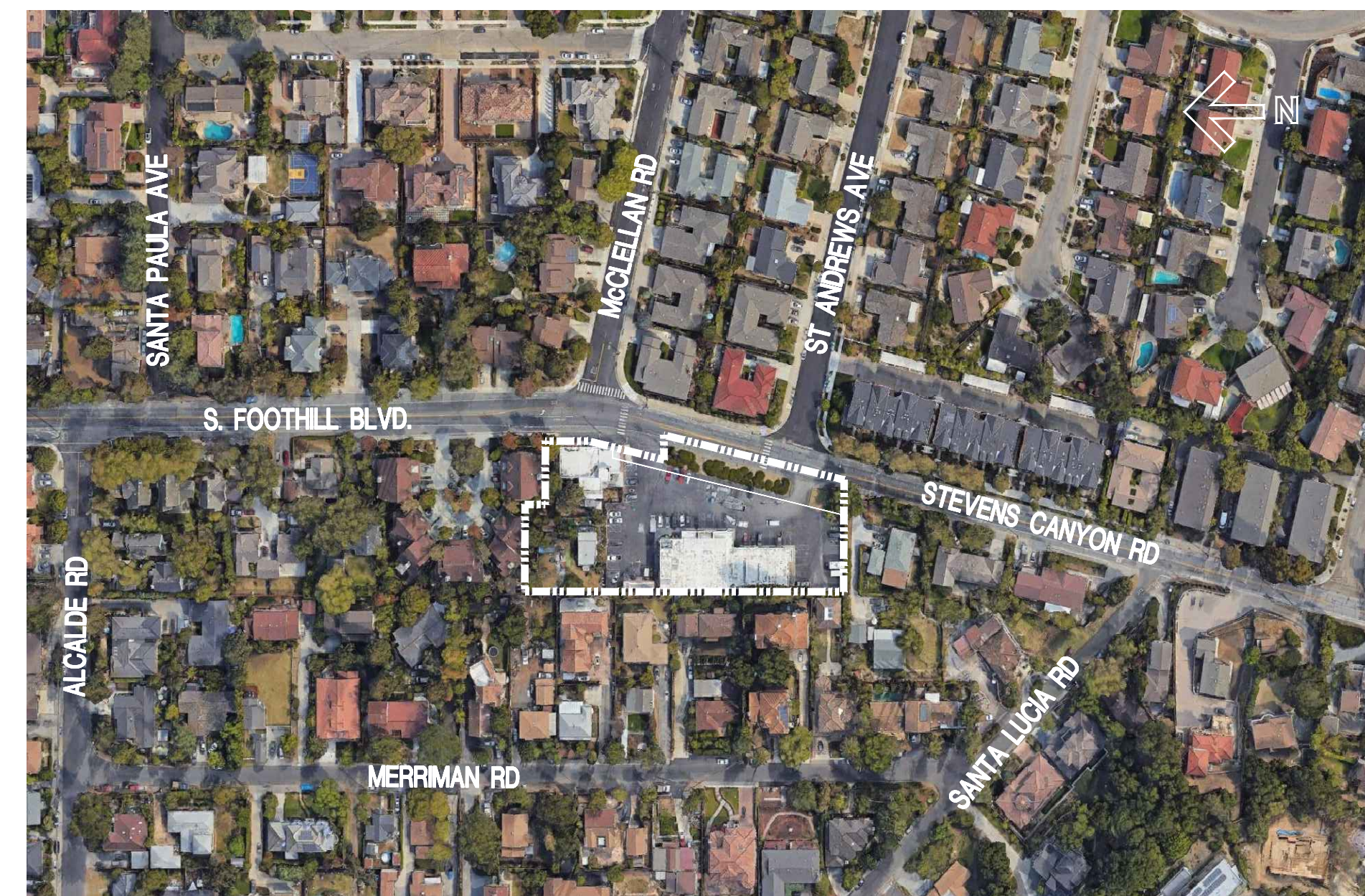
- L1.0 LANDSCAPE PLANTING PLAN
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- L3.0 LANDSCAPE CONSTRUCTION DETAILS
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CIVIL:

- C1 TENTATIVE MAP
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- C2 TOPOGRAPHIC SURVEY
- C3 SITE AERIAL PHOTO
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- C8 ON-SITE UTILITY PLAN
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- C12 CROSS SECTIONS
- C13 DETAILS
- C14 BLUEPRINT FOR A CLEAN BAY
- ST1 STORMWATER TREATMENT PLAN
- E1.1 SITE PHOTOMETRIC CALCULATIONS



LOCATION MAP



VICINITY MAP

SCOPE OF WORK:
DEMOLISH THE EXISTING COMMERCIAL BUILDING AND CONSTRUCT (5) SINGLE FAMILY HOMES, (8) TOWNHOUSES, (5) RESIDENTIAL FLATS AND A 4,536 SF GROUND FLOOR COMMERCIAL SPACE. AN UNDERGROUND PARKING GARAGE SHALL BE CONSTRUCTED BELOW THE RESIDENTIAL FLATS AND COMMERCIAL SPACE.

BUILDING CODES:
2016 CBC BASED ON 2015 IBC
2016 CPC BASED ON 2015 UPC
2016 CMC BASED ON 2015 UMC
2016 CEC BASED ON 2015 NEC
2016 CFC BASED ON 2015 UFC
2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
2016 CALGREEN
CITY OF CUPERTINO MUNICIPAL CODE

TYPE OF CONSTRUCTION V-B AT RESIDENTIAL DUPLEX/TRIPLEX
V-A AT RESIDENTIAL BUILDING 1
V-A AT COMMERCIAL BUILDING 1
I-A AT BELOW GRADE PARKING GARAGE

TYPE OF OCCUPANCY R-2 AT RESIDENTIAL
R-3 AT RESIDENTIAL SINGLE FAMILY/DUPLEX/TRIPLEX
M AT COMMERCIAL
S-2 AT BELOW GRADE PARKING GARAGE

PROJECT DATA

APN: 342-16-087
SITE AREA: 1.566 AC (GROSS)
1.386 AC (NET)
EXISTING GENERAL PLAN: GENERAL COMMERCIAL
PROPOSED GENERAL PLAN: MIXED-USE PLANNED DEVELOPMENT
EXISTING ZONING: PICG
PROPOSED ZONING: P
EXISTING USE: COMMERCIAL
PROPOSED USE: COMMERCIAL & RESIDENTIAL
4,500 SF GROUND-FLOOR COMMERCIAL
(5) FLATS OVER COMMERCIAL
(5) SINGLE FAMILY
(8) TOWNHOUSES (DUPLEX & TRIPLEX)
PROPOSED MAX. BUILDING HEIGHT: 30 FEET, TWO STORIES

USABLE COMMON OPEN SPACE:

REQUIRED: 150 SF/DU + 5% OF COMMERCIAL GROSS FLOOR AREA
PROVIDED: 265 SF/DU (SEE SHEET A6 FOR DETAILS)
+ 5% OF COMMERCIAL GROSS FLOOR AREA

PRIVATE OPEN SPACE/DECK:

REQUIRED: 60 SF/DU
PROVIDED: MIN. 60 SF/DU (SEE SHEET A1 & A2c FOR DETAILS)

VEHICLE PARKING REQUIRED:

BUILDING #1: 28 (SEE SHEET A2a FOR DETAILS)
13 SFD/TOWNHOUSE : 37 (13 X 2.8)

TOTAL: 65 STALLS

VEHICLE PARKING PROVIDED:

SURFACE: 10 STALLS
BASEMENT: 31 STALLS
WITHIN GARAGE: 26 STALLS

TOTAL: 67 STALLS

BICYCLE PARKING REQUIRED:

BUILDING #1: 3 CLASS I, 5 CLASS II (SEE SHEET A2a)
13 SFD/TOWNHOUSE : N/A

BICYCLE PARKING PROVIDED:

BUILDING #1: 5 CLASS I & 18 CLASS II (SEE SHEET A2a)

NET DENSITY:

ALLOWED: 15 DU/AC
PROPOSED: 12.98 DU/AC (18/1.386)

PROPOSED UNIT MIX

	# OF BEDROOMS	LIVING AREA (SF)	2-CAR GARAGE (SF)	# OF UNITS	UNIT TYPE	TYPE OF CONSTRUCTION	
PLAN A	3	2,185	449	5	SFD	V-B	
PLAN B	3	1,568	492	2	SFA (DUPLEX)		
PLAN C	3	2,269	417	4	SFA (TRIPLEX)		
PLAN D	3	2,038	445	2	SFA (TRIPLEX)		
				TOTAL	13		
BUILDING 1							V-A
UNIT A1	1	1,003		1	FLAT		
UNIT A2	1	918		1	FLAT		
UNIT B1	2	1,239		1	FLAT		
UNIT B2	2	1,460		1	FLAT		
UNIT B3	2	1,501		1	FLAT		
				TOTAL	5		
COMMERCIAL (1ST)		7,180				V-A	
RESIDENTIAL (2ND)		8,098				V-A	
PARKING GARAGE						1-A	

NOTES

PROPOSED COVERED MULTIFAMILY DWELLINGS IN BLDG #1 WILL COMPLY WITH CHAPTER 11-A OF THE 2016 CBC.
ALL STRUCTURES SHALL HAVE FIRE SPRINKLERS INSTALLED TO COMPLY WITH CUPERTINO MUNICIPAL CODE

Date: 12/15/2017

Drawing Title:

Scale:

COVER SHEET

Revisions: 04/11/2017

Sheet No.

01/11/2019

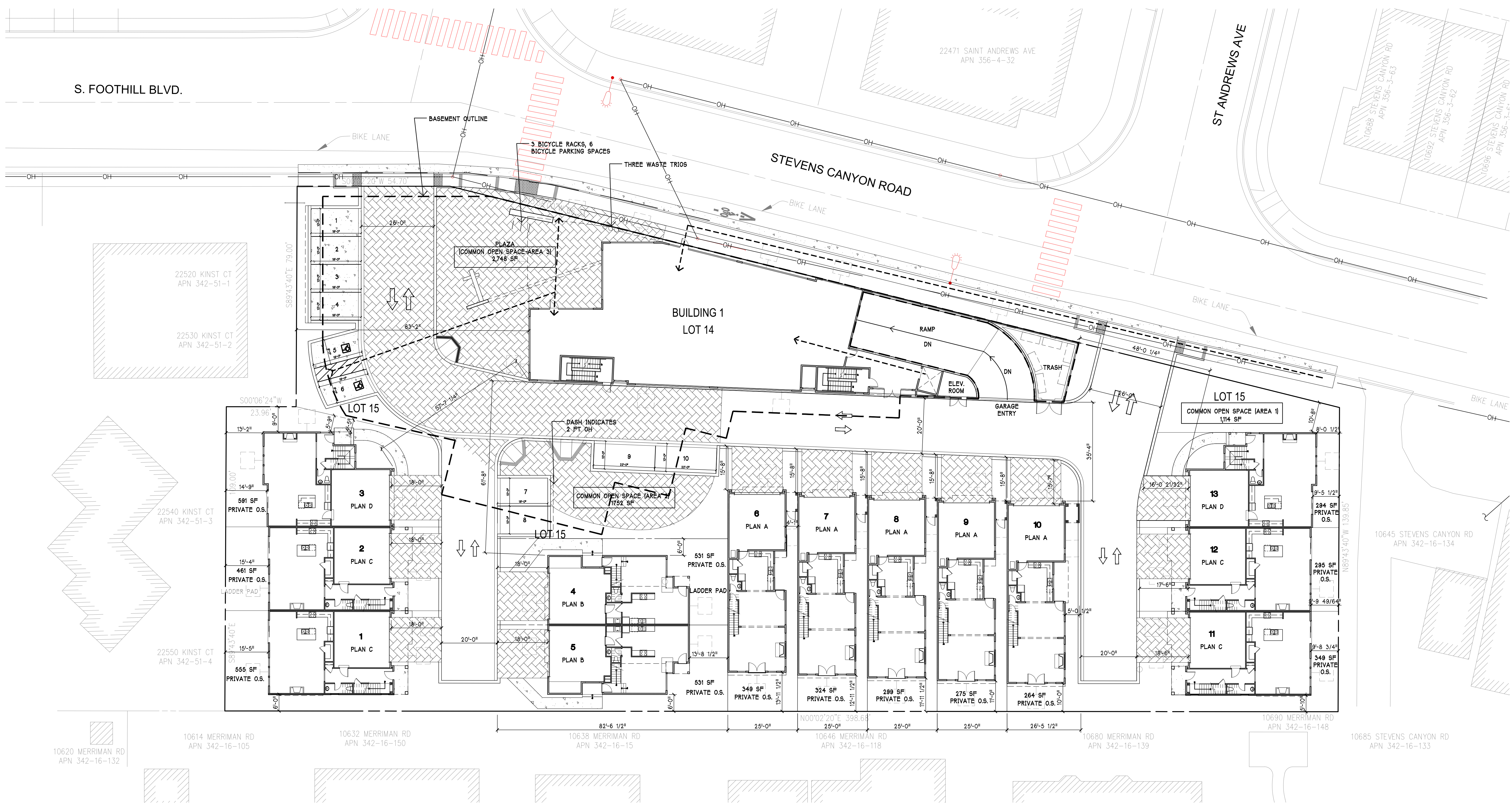
A0

CANYON CROSSINGS

10625 S. FOOTHILL BLVD.
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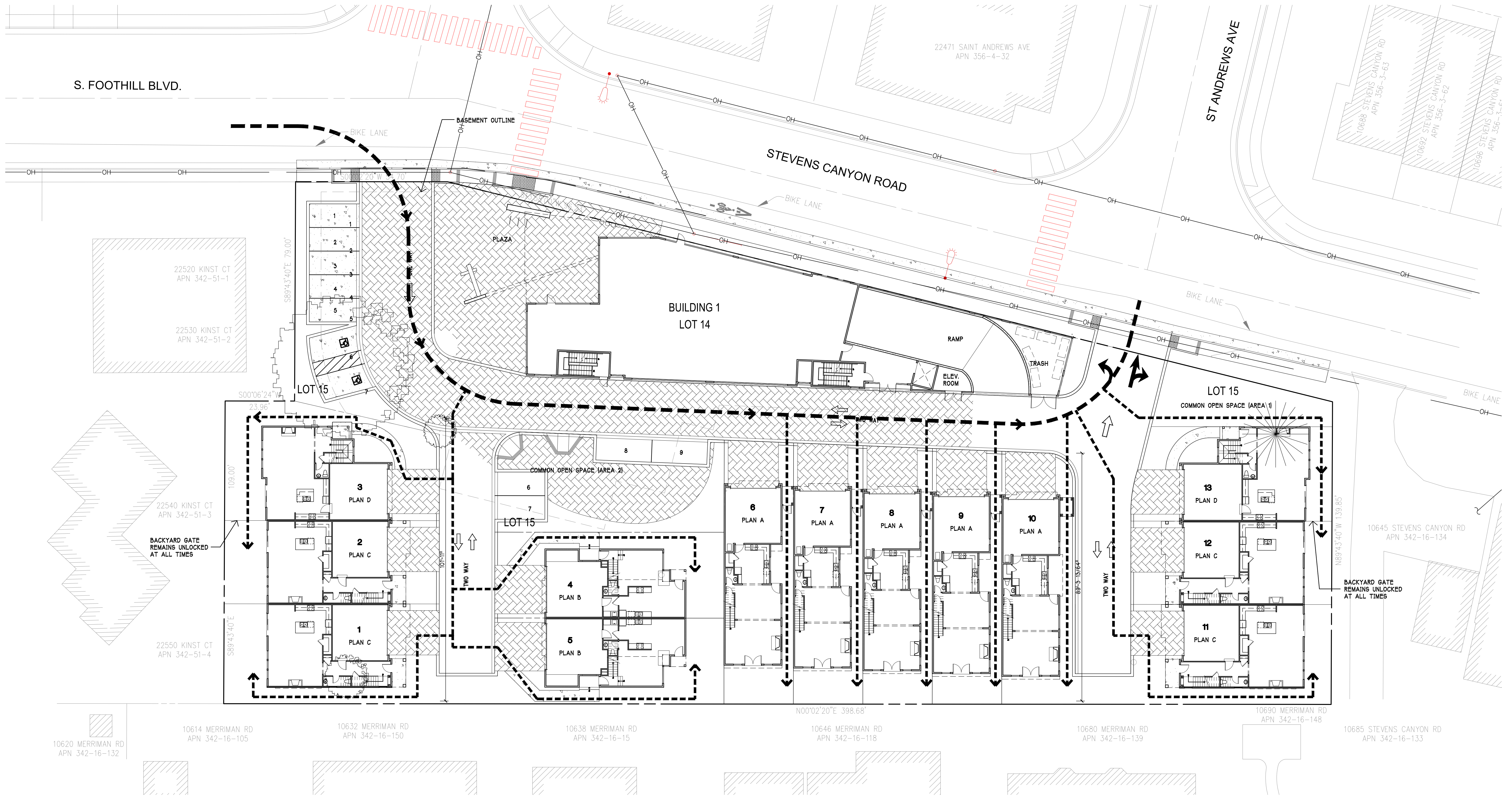
1 SITE PLAN
 1/8" = 1'-0"

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Date: 12/15/2017	Drawing Title:
Scale:	SITE PLAN
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1 EMERGENCY CIRCULATION PLAN
1/8" = 1'-0"



LEGEND
 - - - - - FIRE TRUCK CIRCULATION
 - - - - - FIREMAN ACCESS ROUTE

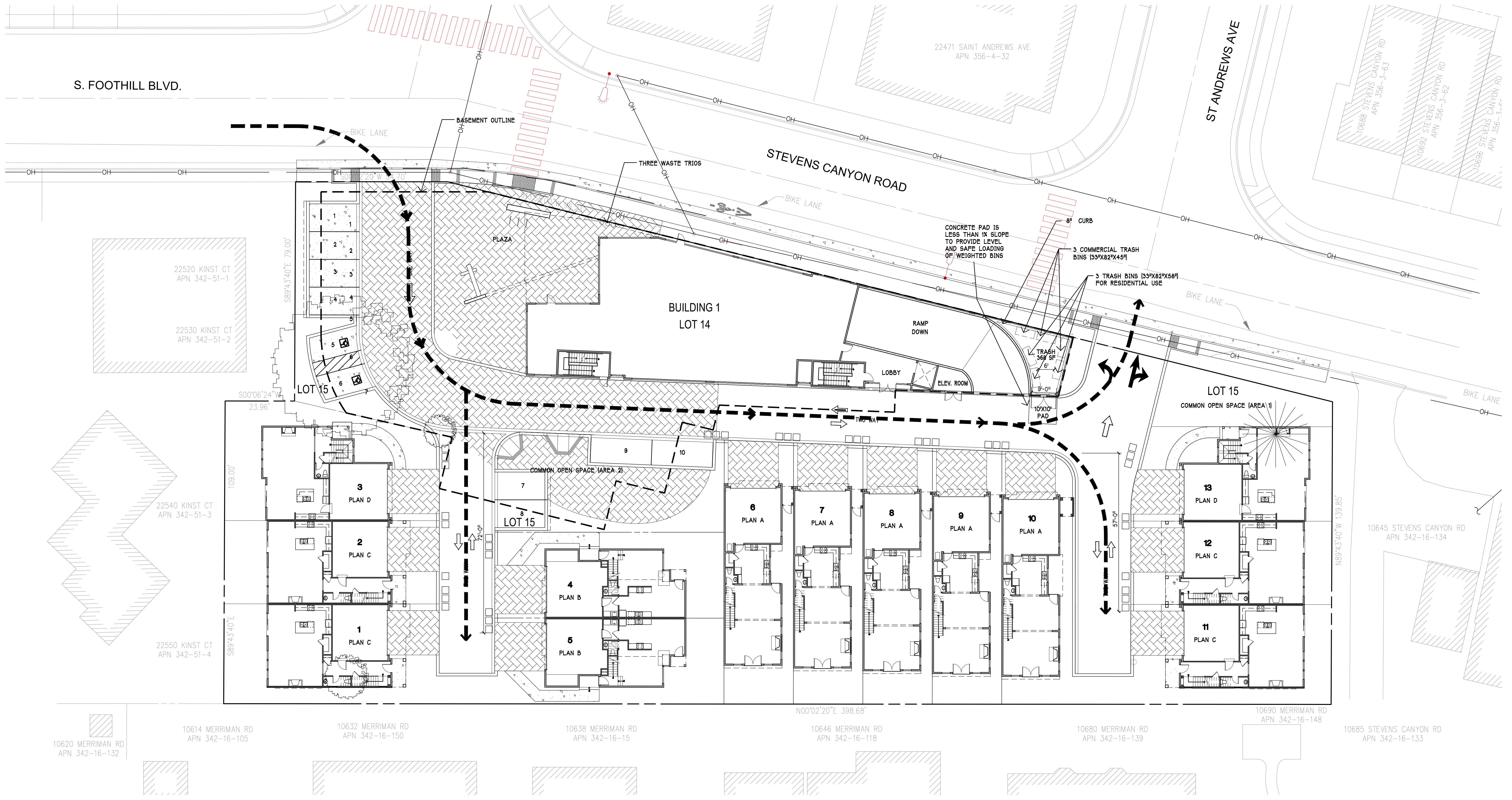
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Scale:	EMERGENCY CIRCULATION PLAN	
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NOTES ON WASTE MANAGEMENT:

1. TRASH ROOM AT BUILDING 1 IS RESERVED FOR RESIDENTS AND COMMERCIAL TENANTS AT BUILDING 1 ONLY. SINGLE FAMILY AND TOWNHOUSE RESIDENTS SHALL STAGE INDIVIDUAL TRASH CARTS IN FRONT OF THEIR DRIVEWAYS FOR PICKUP, AS SHOWN ON THIS PLAN.
2. NO COMMERCIAL TENANT AT BUILDING 1 SHALL BE FOOD SERVICE RELATED.
3. TENANTS AT BUILDING 1 SHALL PLACE BULKY ITEMS, UNIVERSAL WASTE, USED HOME-COOKING OIL AND CHRISTMAS TREES INSIDE TRASH ROOM OF BUILDING 1 FOR COLLECTION BY THE CITY'S FRANCHISED WASTE HAULER.
4. TENANTS AT BUILDING 1 SHALL PLACE HOUSEHOLD HAZARDOUS WASTE (HHW) INSIDE TRASH ROOM FOR COLLECTION BY THE CITY'S HHW HAULER.
5. PLEASE REFER TO BUILDING PERMIT DRAWING SET FOR STORAGE LOCATIONS OF RESIDENTIAL CARTS (LANDFILL, RECYCLING, ORGANICS) WITHIN SINGLE-FAMILY AND TOWNHOUSE UNITS.

1 SOLID WASTE PICK UP PLAN
 1/8" = 1'-0"

LEGEND

- — — — — TRUCK CIRCULATION
- □ □ TRASH BIN STAGING AREA FOR SFD/TOWNHOUSES

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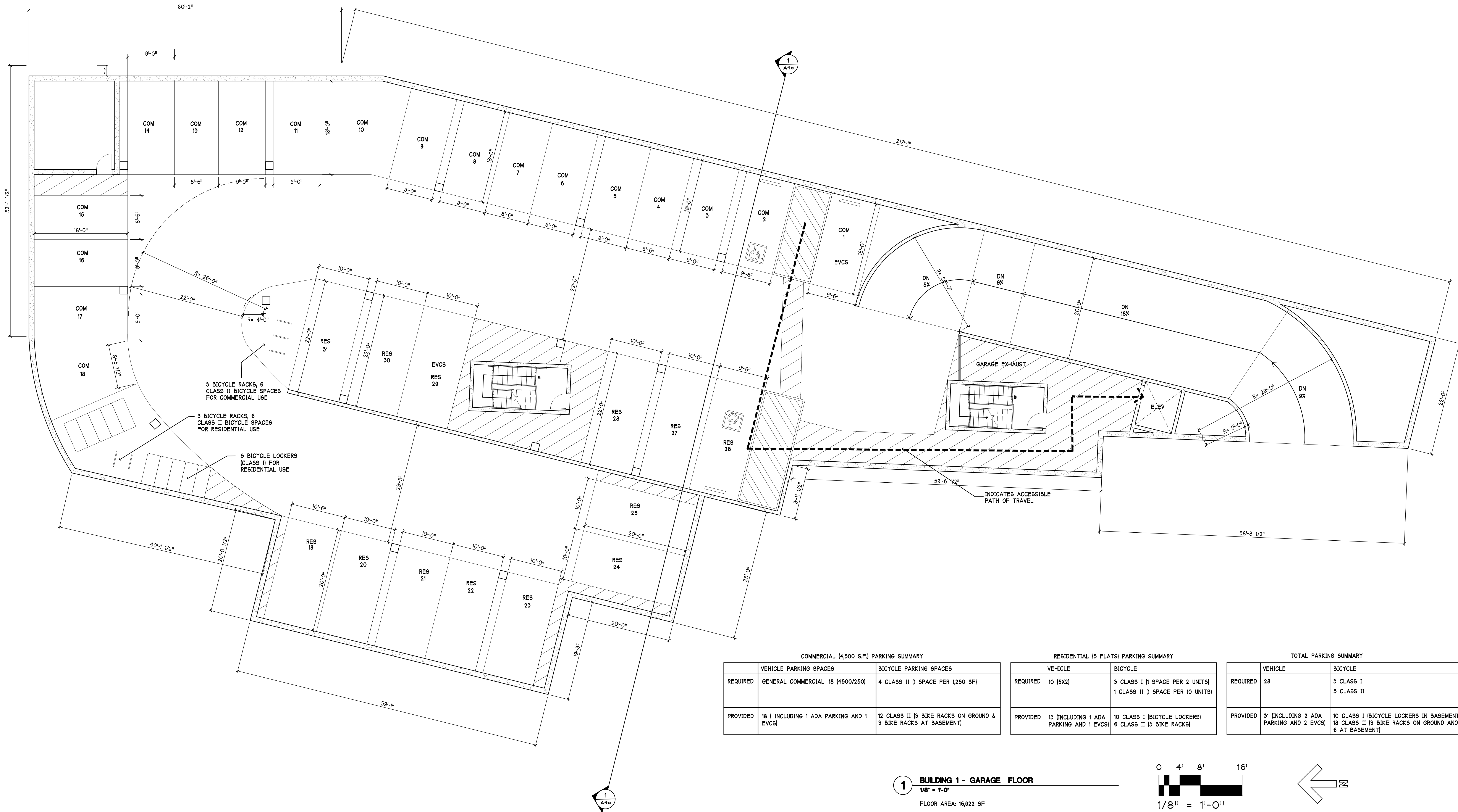
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Drawing Title:
SOLID WASTE PICK UP PLAN
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3 BICYCLE RACKS, 6 CLASS II BICYCLE SPACES FOR COMMERCIAL USE

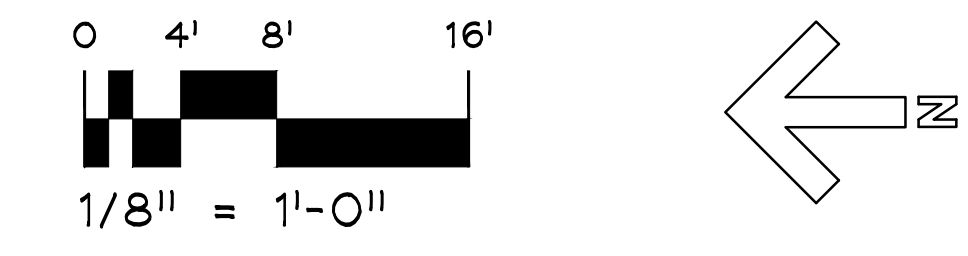
3 BICYCLE RACKS, 6 CLASS II BICYCLE SPACES FOR RESIDENTIAL USE

5 BICYCLE LOCKERS (CLASS II) FOR RESIDENTIAL USE

INDICATES ACCESSIBLE PATH OF TRAVEL

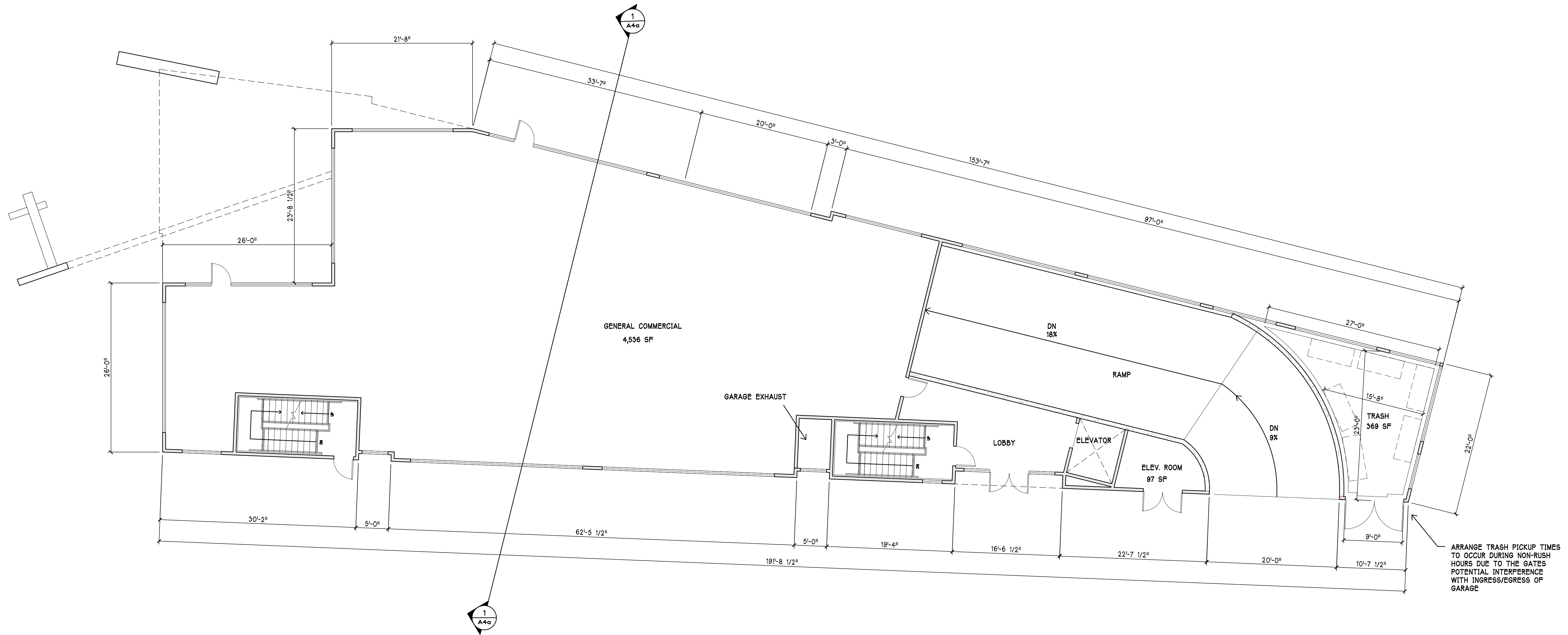
COMMERCIAL (4,500 S.F.) PARKING SUMMARY			RESIDENTIAL (5 FLATS) PARKING SUMMARY		TOTAL PARKING SUMMARY			
	VEHICLE PARKING SPACES	BICYCLE PARKING SPACES	REQUIRED	VEHICLE	BICYCLE	REQUIRED	VEHICLE	BICYCLE
	GENERAL COMMERCIAL: 18 (4500/250)	4 CLASS II (1 SPACE PER 1,250 SF)	10 (5X2)	3 CLASS I (1 SPACE PER 2 UNITS) 1 CLASS II (1 SPACE PER 10 UNITS)	3 CLASS I 5 CLASS II	28	31 (INCLUDING 2 ADA PARKING AND 2 EVCS)	10 CLASS I (BICYCLE LOCKERS IN BASEMENT) 18 CLASS II (3 BIKE RACKS ON GROUND AND 6 AT BASEMENT)
	PROVIDED 18 (INCLUDING 1 ADA PARKING AND 1 EVCS)	12 CLASS II (3 BIKE RACKS ON GROUND & 3 BIKE RACKS AT BASEMENT)	13 (INCLUDING 1 ADA PARKING AND 1 EVCS)	10 CLASS I (BICYCLE LOCKERS) 6 CLASS II (3 BIKE RACKS)				

1 BUILDING 1 - GARAGE FLOOR
 1/8" = 1'-0"
 FLOOR AREA: 16,922 SF

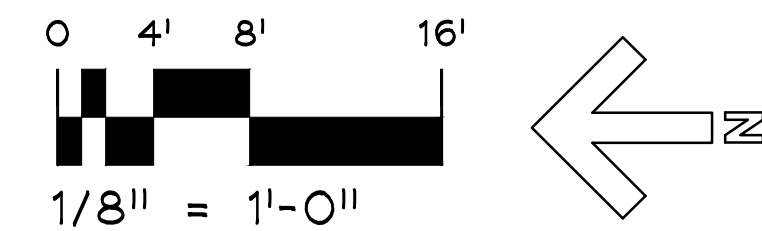


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1 BUILDING 1 - FIRST FLOOR
 1/8" = 1'-0"
 FLOOR AREA: 7,180 SF

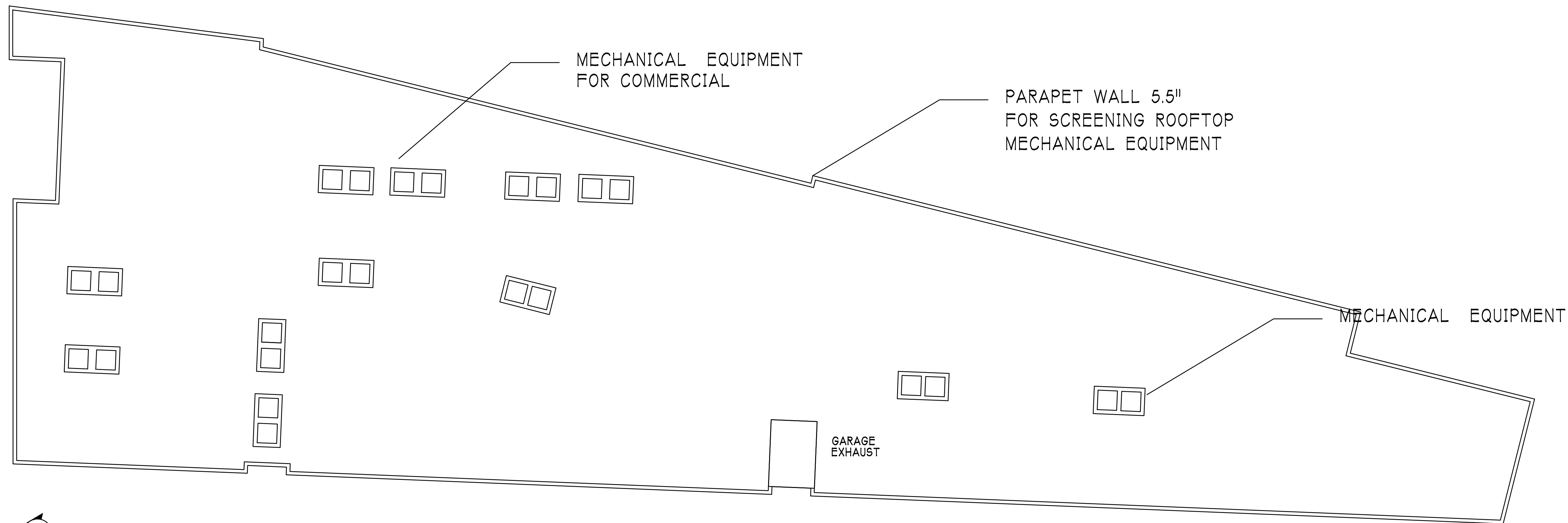


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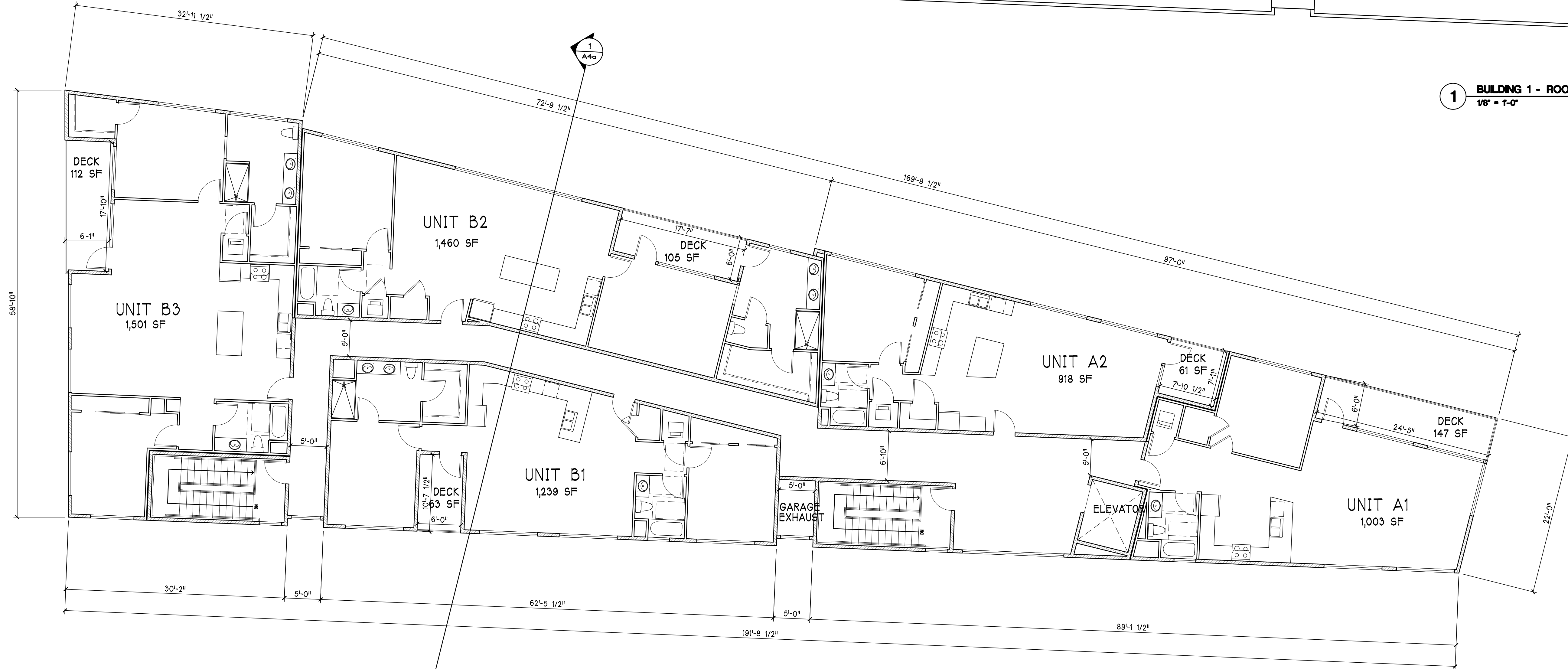
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Date: 12/13/2017	Drawing Title:
Scale:	BUILDING 1 FIRST FLOOR PLAN
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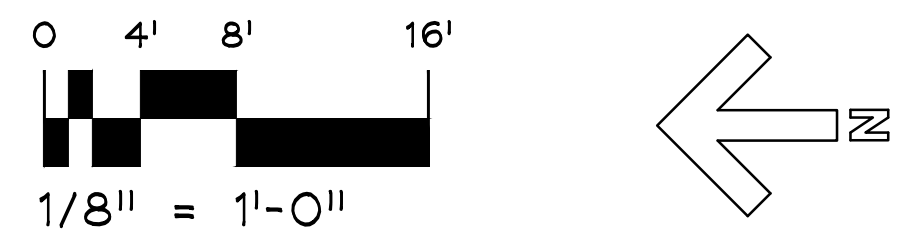
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1 BUILDING 1 - ROOF PLAN
1/8" = 1'-0"



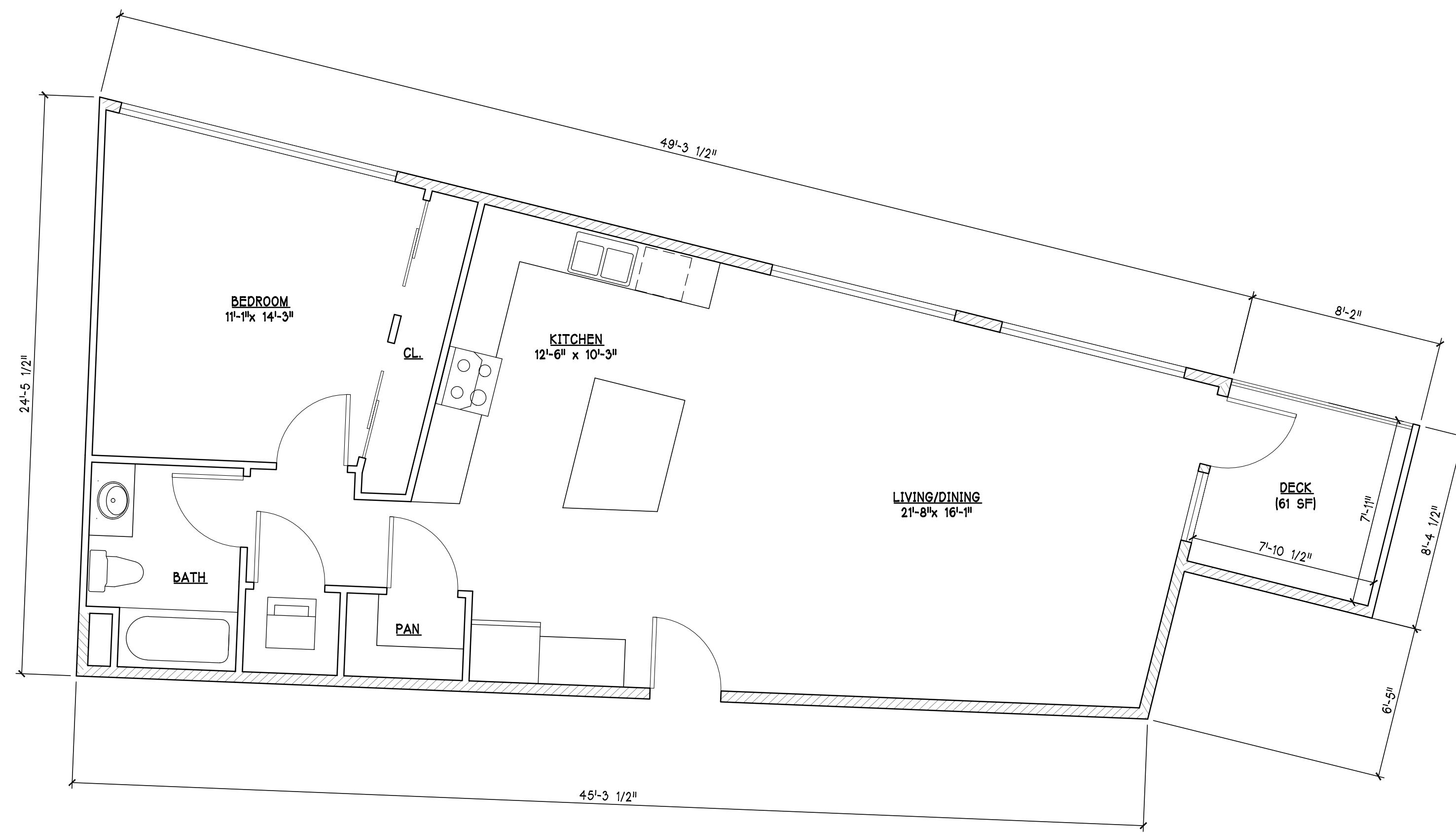
1 BUILDING 1 - SECOND FLOOR
1/8" = 1'-0"
FLOOR AREA: 7,851 SF



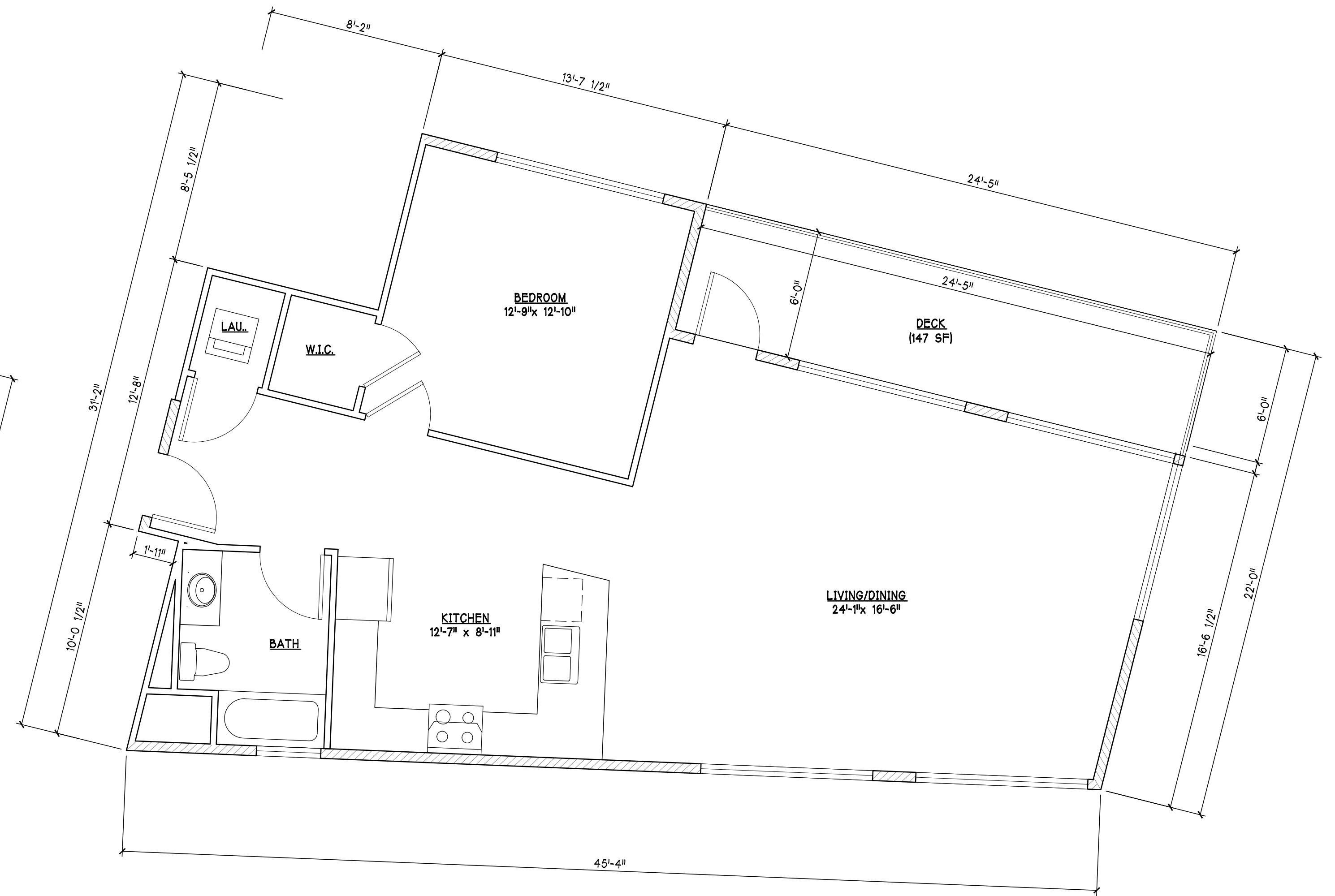
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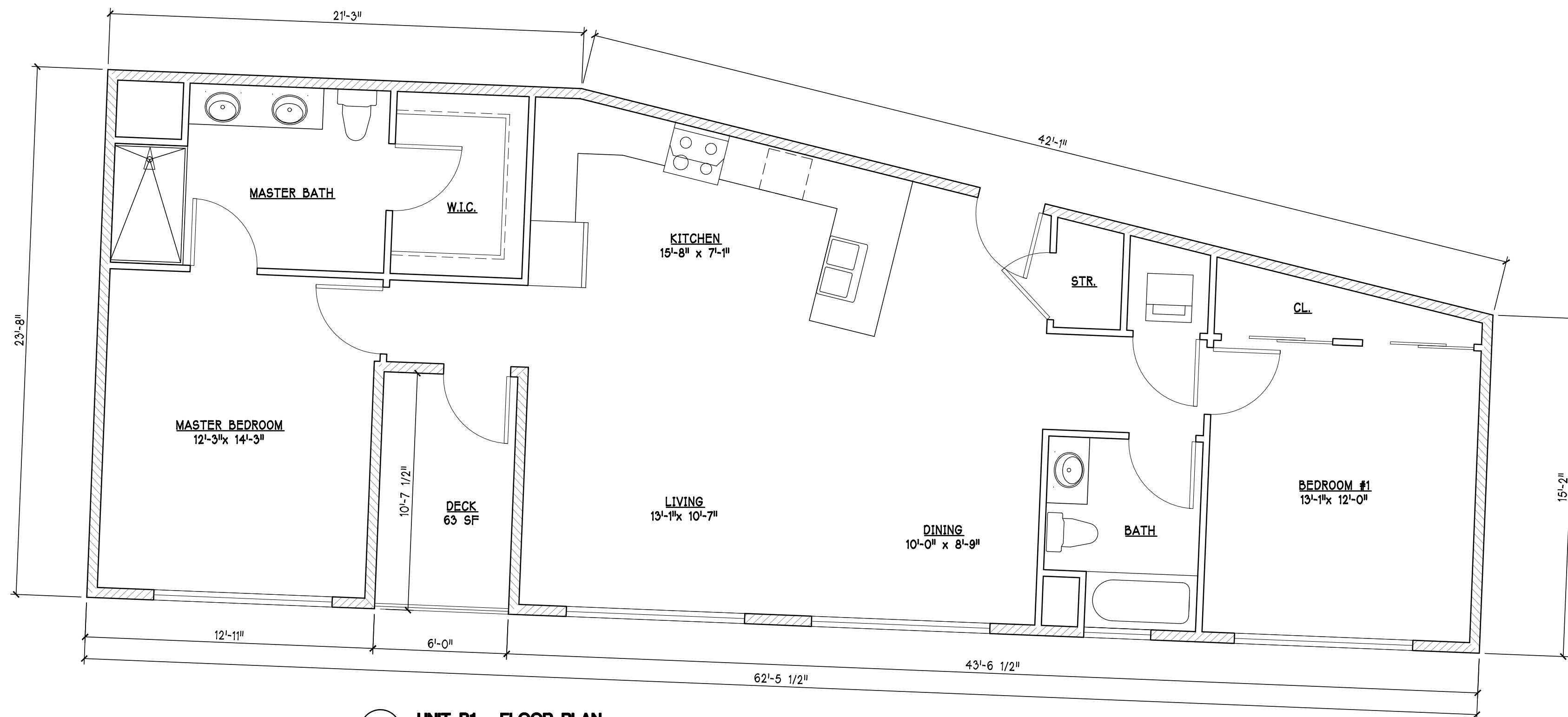
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Scale:	BUILDING 1 SECOND FLOOR PLAN	
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2 UNIT A2 - FLOOR PLAN
 1/4" = 1'-0" 918 SF LIVING



1 UNIT A1 - FLOOR PLAN
 1/4" = 1'-0" 1,003 SF LIVING



3 UNIT B1 - FLOOR PLAN
 1/4" = 1'-0" 1,239 SF LIVING

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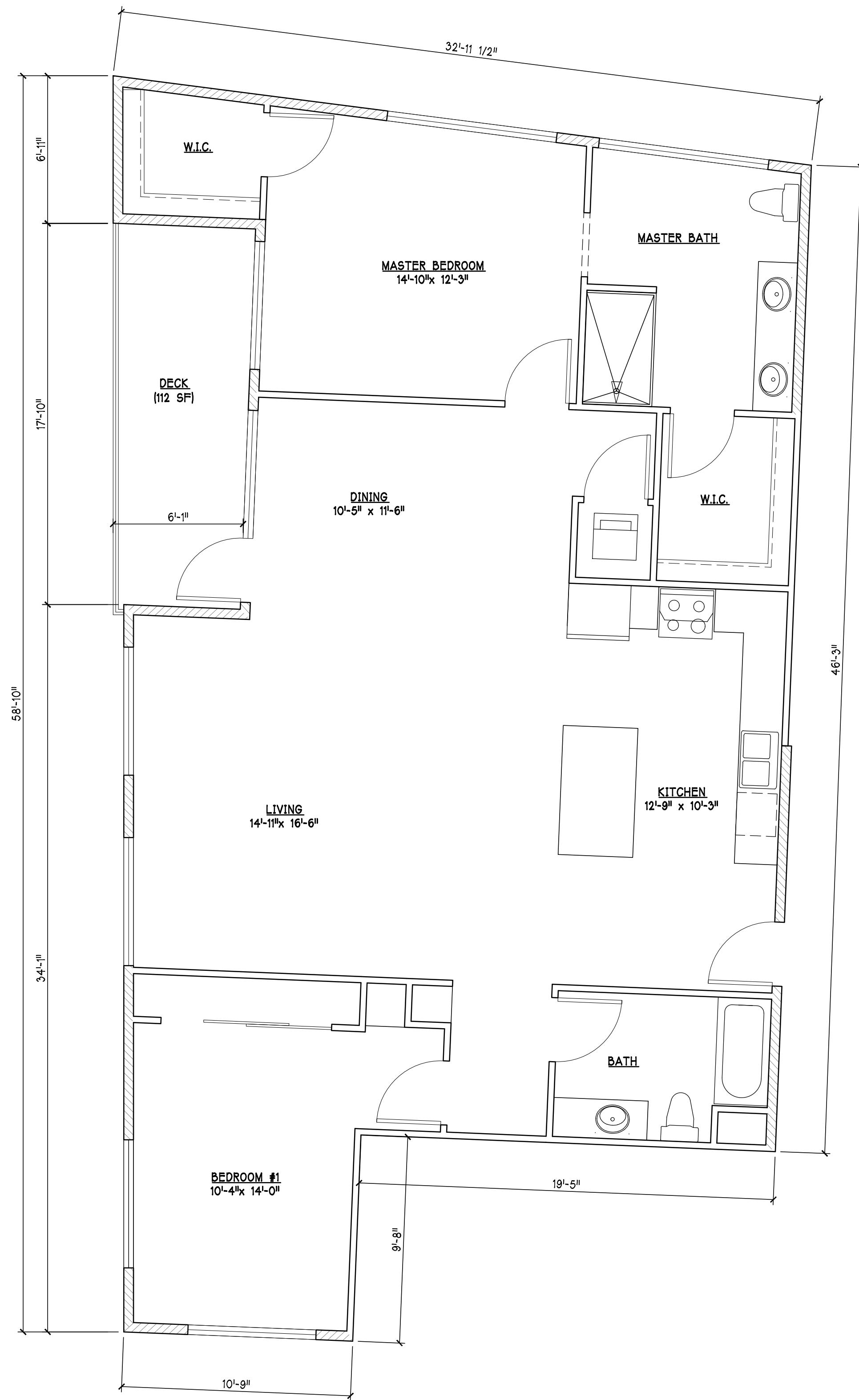
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UNITS A1, A2, B1
FLOOR PLANS

Sheet No.:

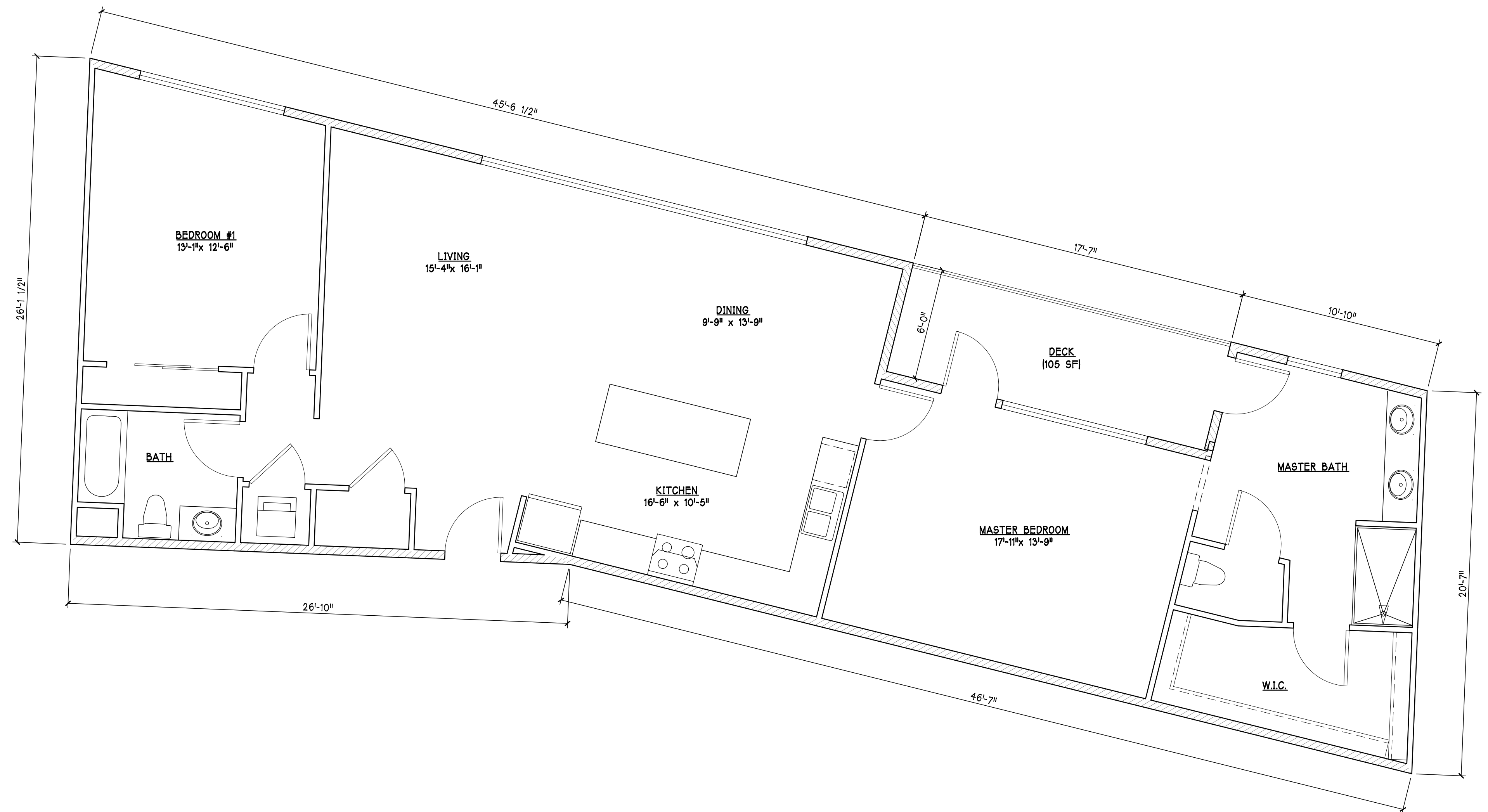
A2d

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1 UNIT B3 - FLOOR PLAN
 1/4" = 1'-0" 1,501 SF LIVING



1 UNIT B2 - FLOOR PLAN
 1/4" = 1'-0" 1,460 SF LIVING

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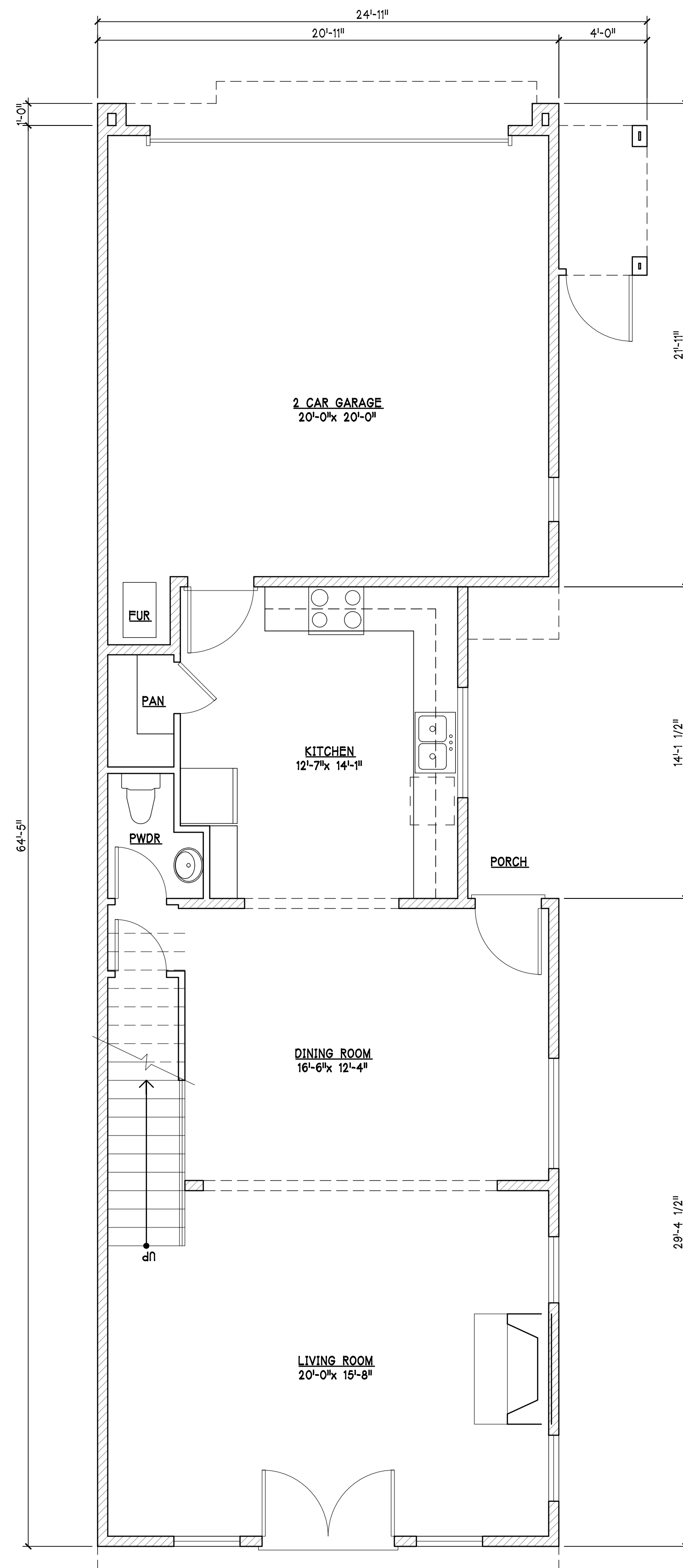
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Drawing Title:
UNITS B2 & B3
FLOOR PLANS
 Sheet No.:

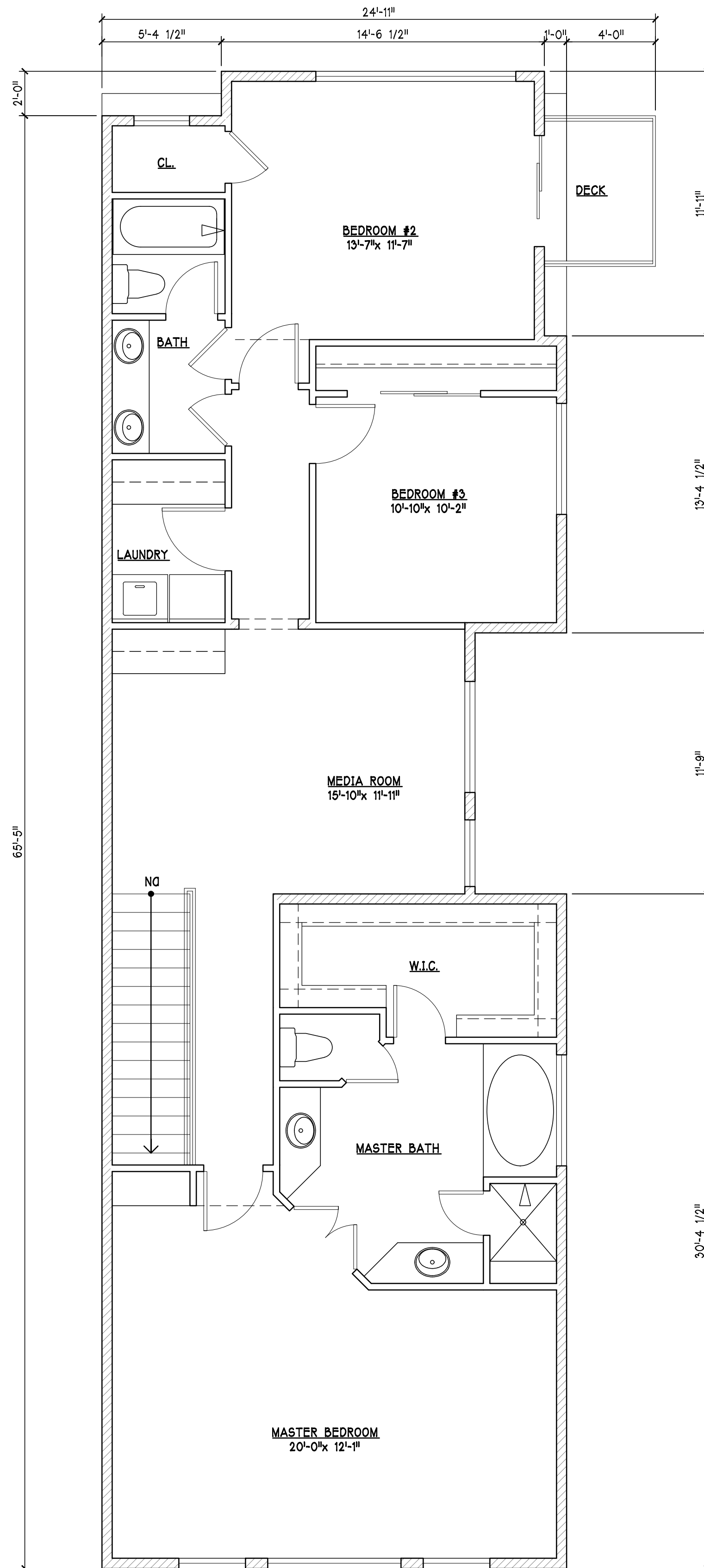
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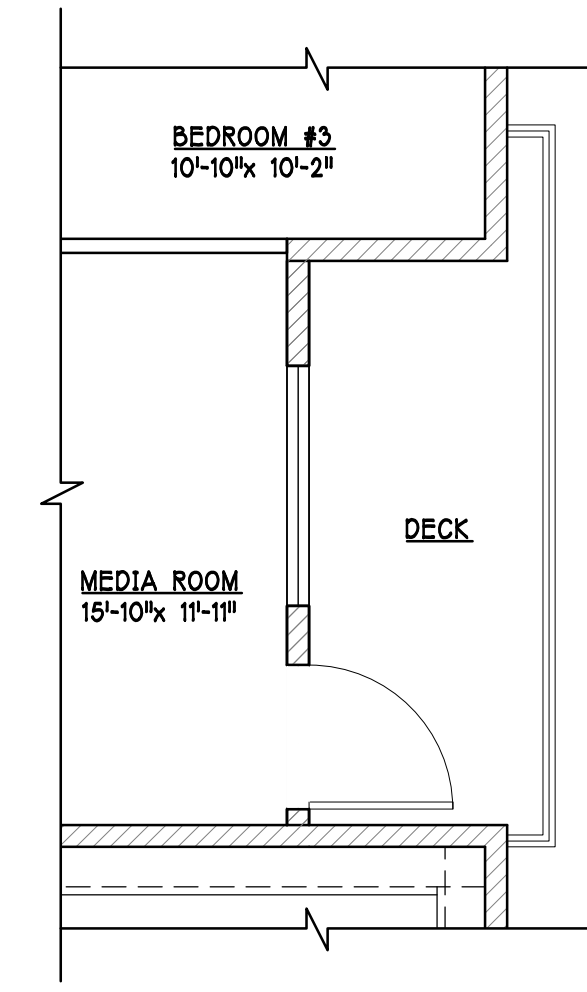
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1 PLAN A - FIRST FLOOR
 1/4" = 1'-0"
 846 SF LIVING
 449 SF GARAGE



2 PLAN A - SECOND FLOOR
 1/4" = 1'-0"
 1339 SF LIVING
 INCLUDING STAIRS



3 PLAN A - SECOND FLOOR @ LOT 10 (CORNER LOT)
 1/4" = 1'-0"

PLAN A SUMMARY	
TOTAL BEDROOMS:	3
TOTAL LIVING AREA:	2,185 SF
GARAGE:	449 SF

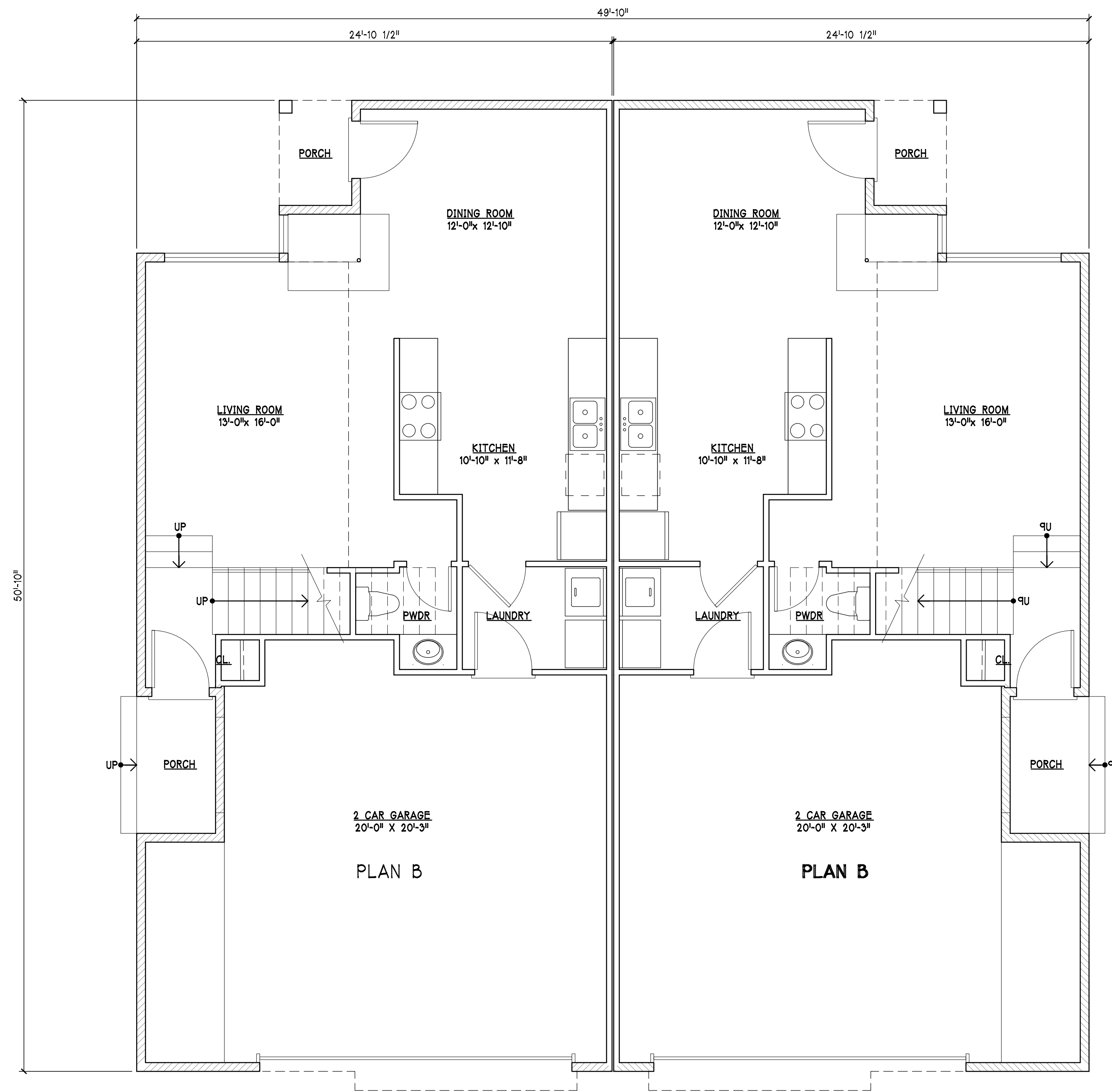
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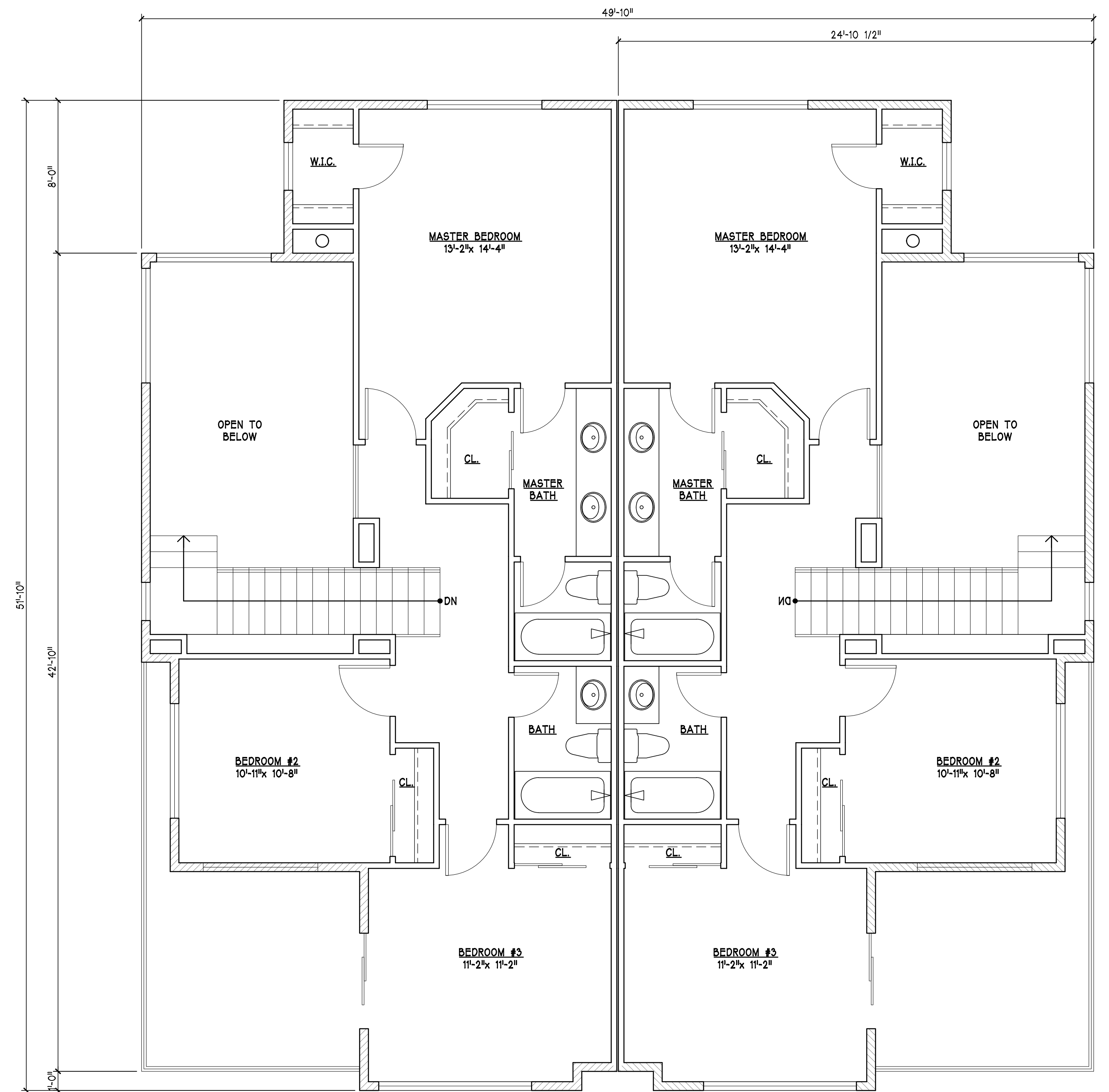
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Drawing Title:
**PLAN A
 FLOOR PLANS**
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A2f

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1 DUPLEX (PLAN B) - FIRST FLOOR
 1/4" = 1'-0"
 662 SF LIVING/UNIT
 492 SF GARAGE/UNIT



2 DUPLEX (PLAN B) - SECOND FLOOR
 1/4" = 1'-0"
 906 SF LIVING/UNIT
 INCLUDING STAIRS TO F/F LANDING

PLAN B SUMMARY	
TOTAL BEDROOMS:	3
TOTAL LIVING AREA:	1,568 SF
GARAGE:	482 SF

CANYON CROSSINGS

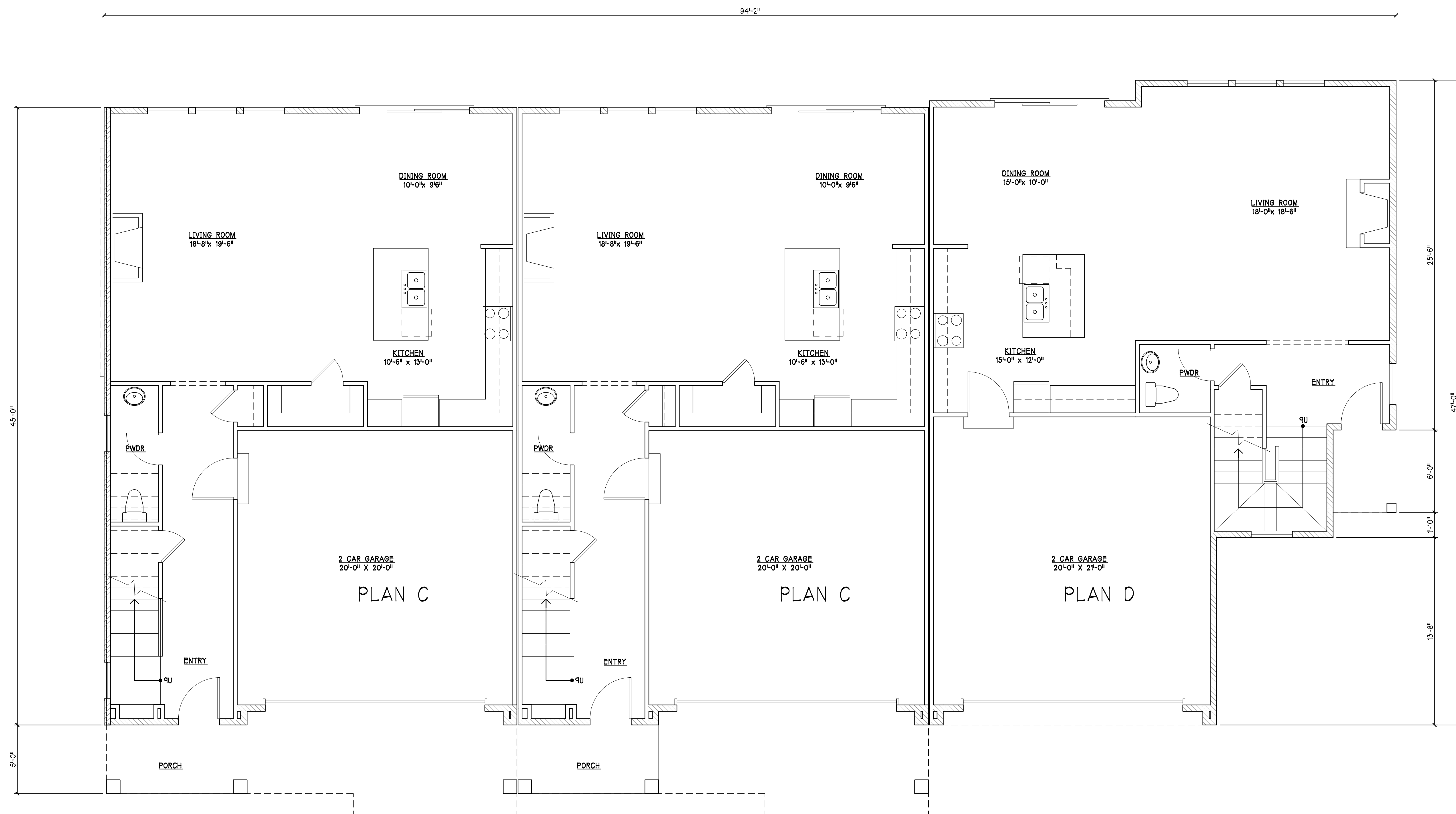
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DUPLEX FLOOR PLANS
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A2g

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1 TRIPLEX - FIRST FLOOR
1/4" = 1'-0"

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Drawing Title:
TRIPLEX FIRST FLOOR PLAN
Sheet No.:

A2h

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1 TRIPLEX - SECOND FLOOR
1/4" = 1'-0"

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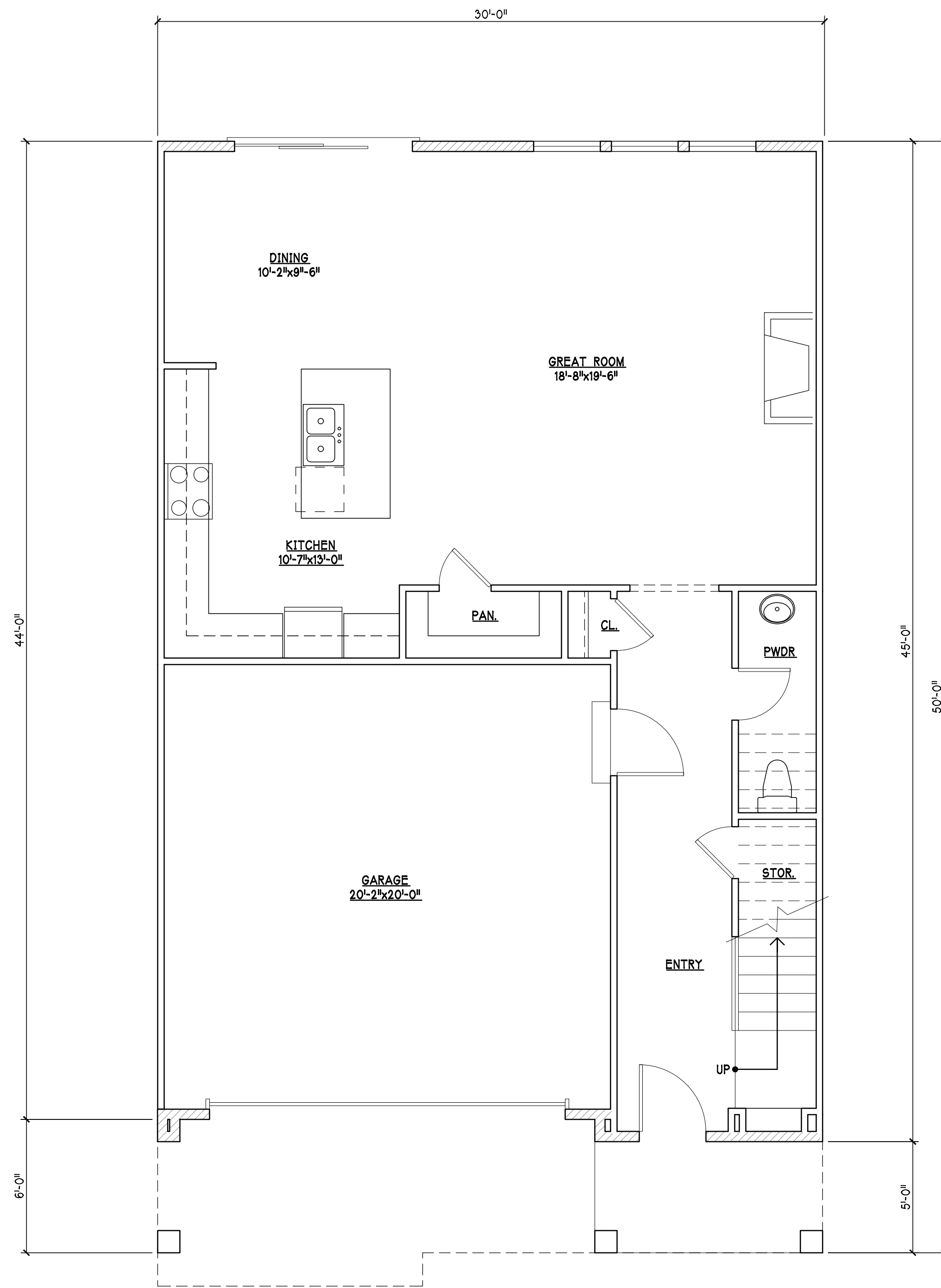
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TRIPLEX SECOND FLOOR PLAN

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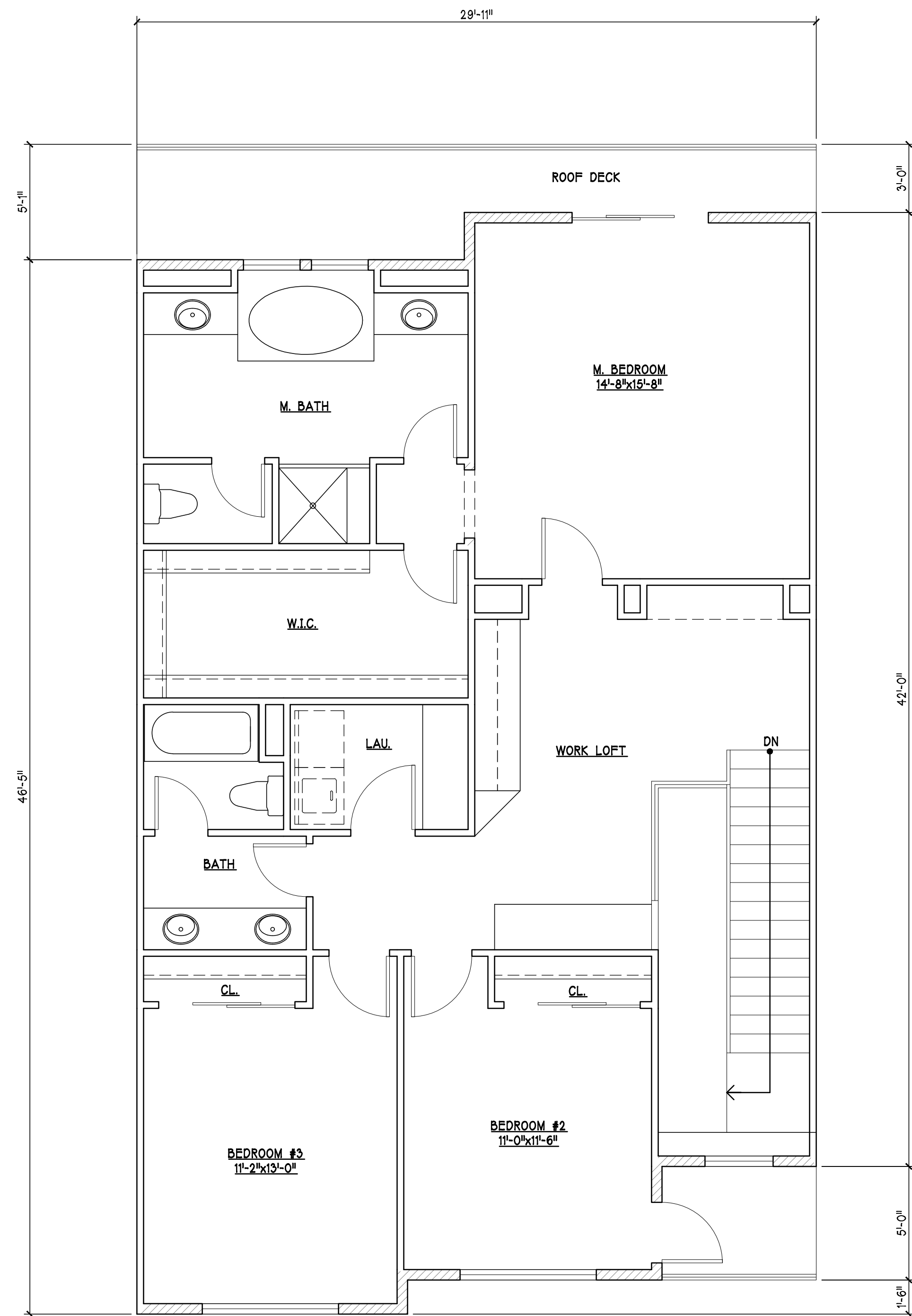
A2i

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1 PLAN C - FIRST FLOOR
 1/4" = 1'-0"
 908 SF LIVING
 417 SF GARAGE



2 PLAN C - SECOND FLOOR
 1/4" = 1'-0"
 1360 SF LIVING
 INCLUDING STAIRS AND OPENING

PLAN C SUMMARY
 TOTAL BEDROOMS: 3
 TOTAL LIVING AREA: 2,268 SF
 GARAGE: 417 SF

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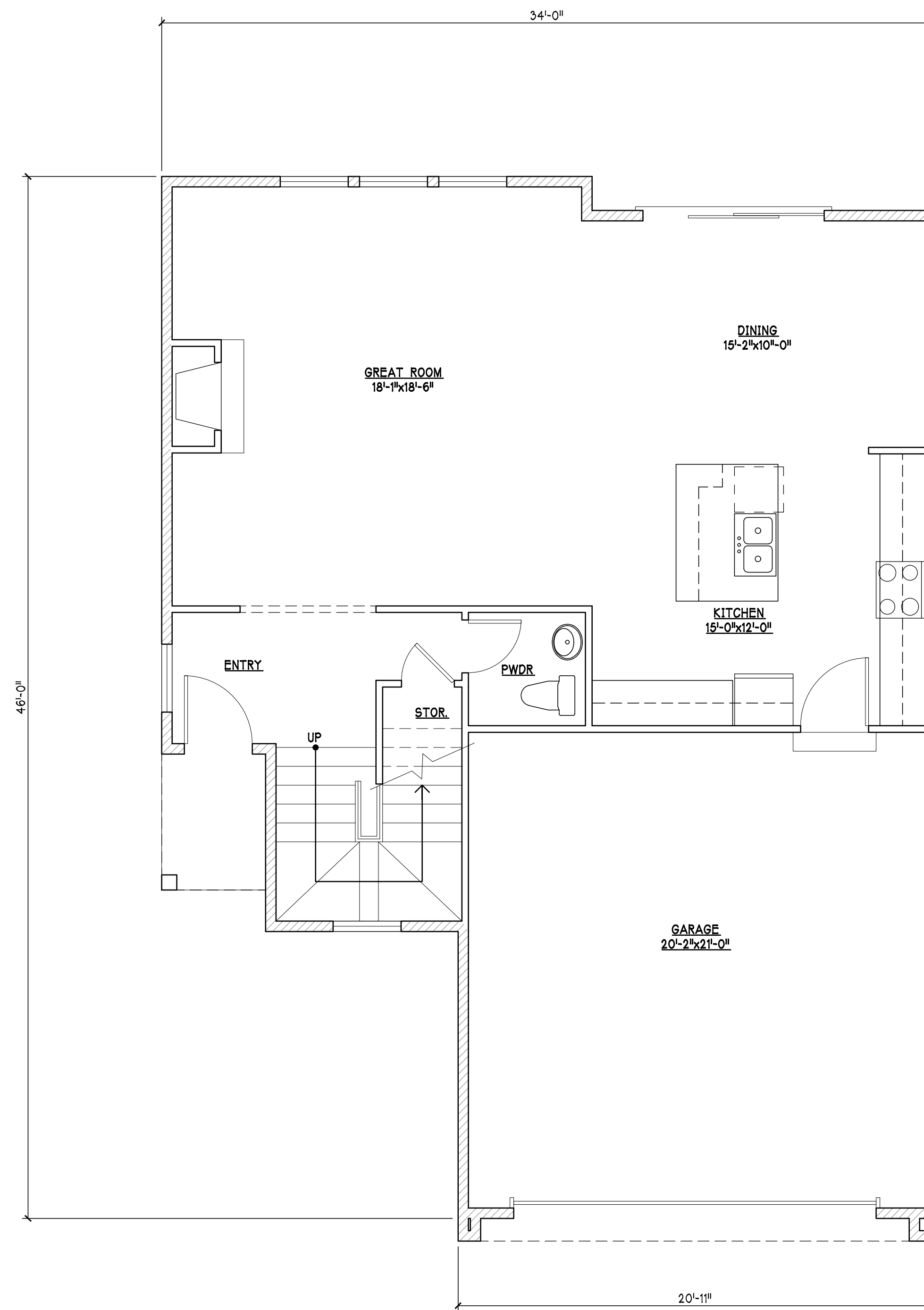
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**PLAN C
 FLOOR PLANS**
 Sheet No.:

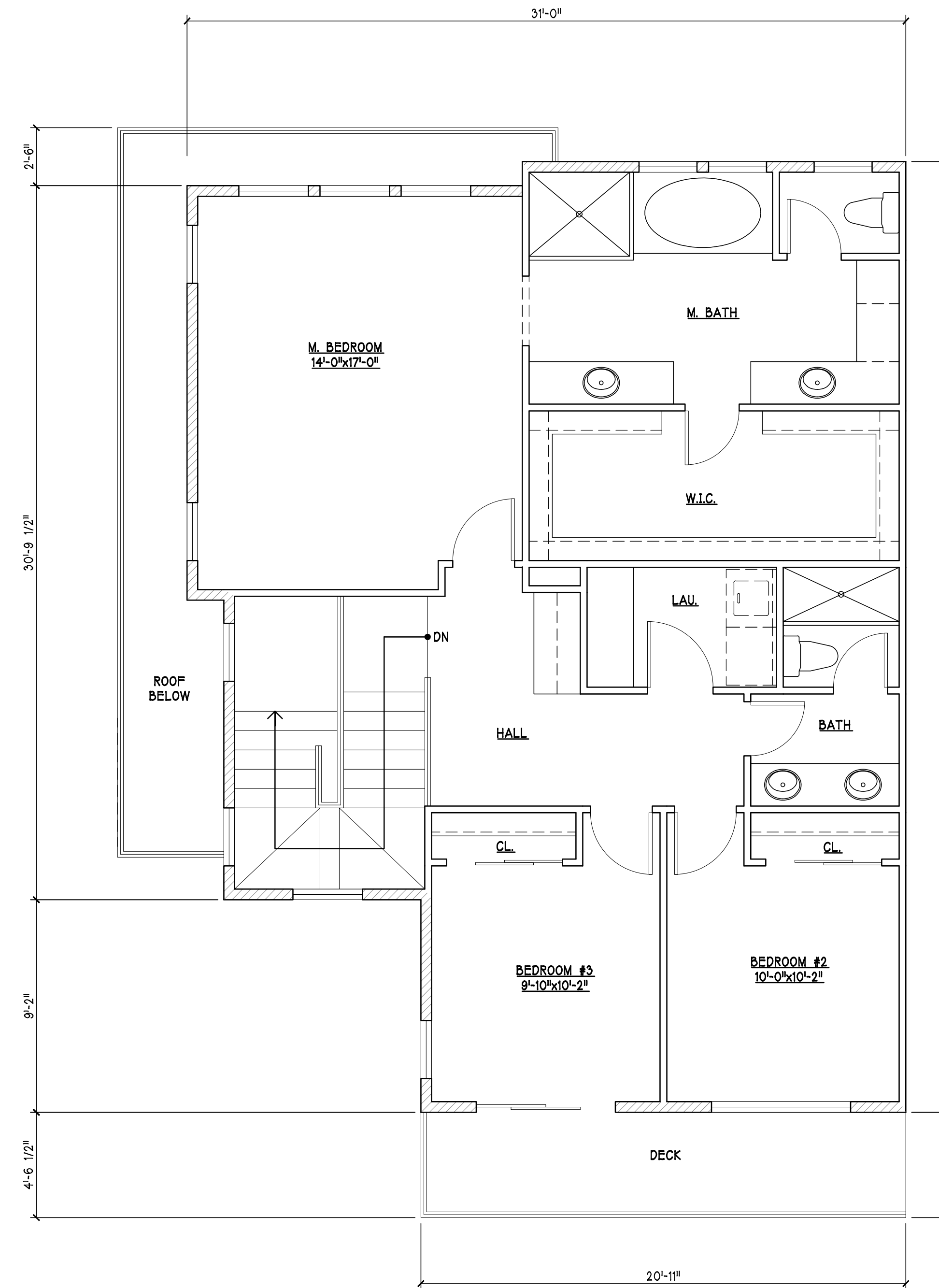
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1 PLAN D - FIRST FLOOR
 1/4" = 1'-0"
 895 SF LIVING
 445 SF GARAGE



2 PLAN D - SECOND FLOOR
 1/4" = 1'-0"
 1143 SF LIVING
 INCLUDING STAIRS AND OPENING

PLAN D SUMMARY	
TOTAL BEDROOMS:	3
TOTAL LIVING AREA:	2,038 SF
GARAGE:	445 SF

CANYON CROSSINGS

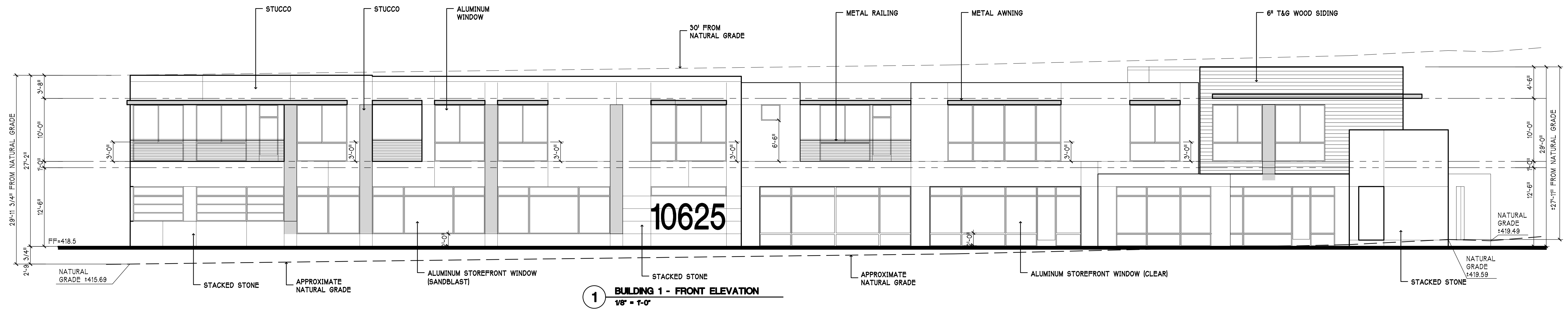
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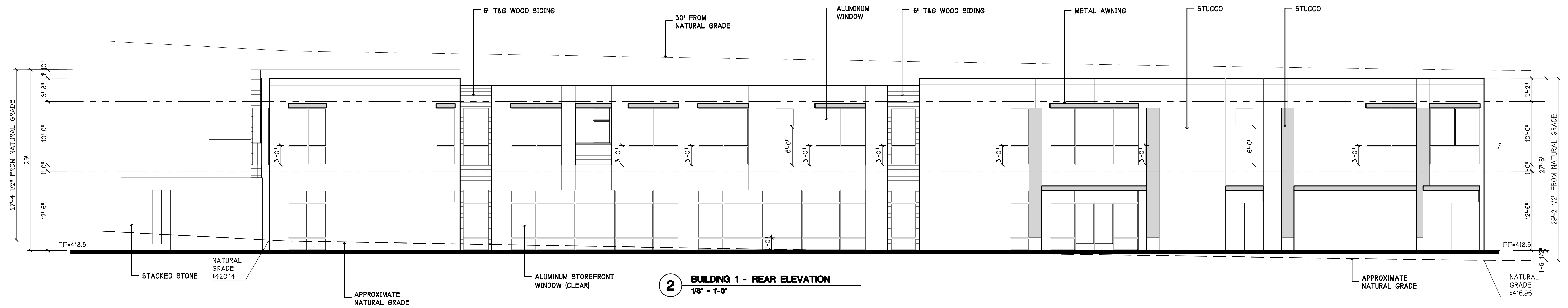
Drawing Title:
**PLAN D
 FLOOR PLANS**
 Sheet No.:

A2k

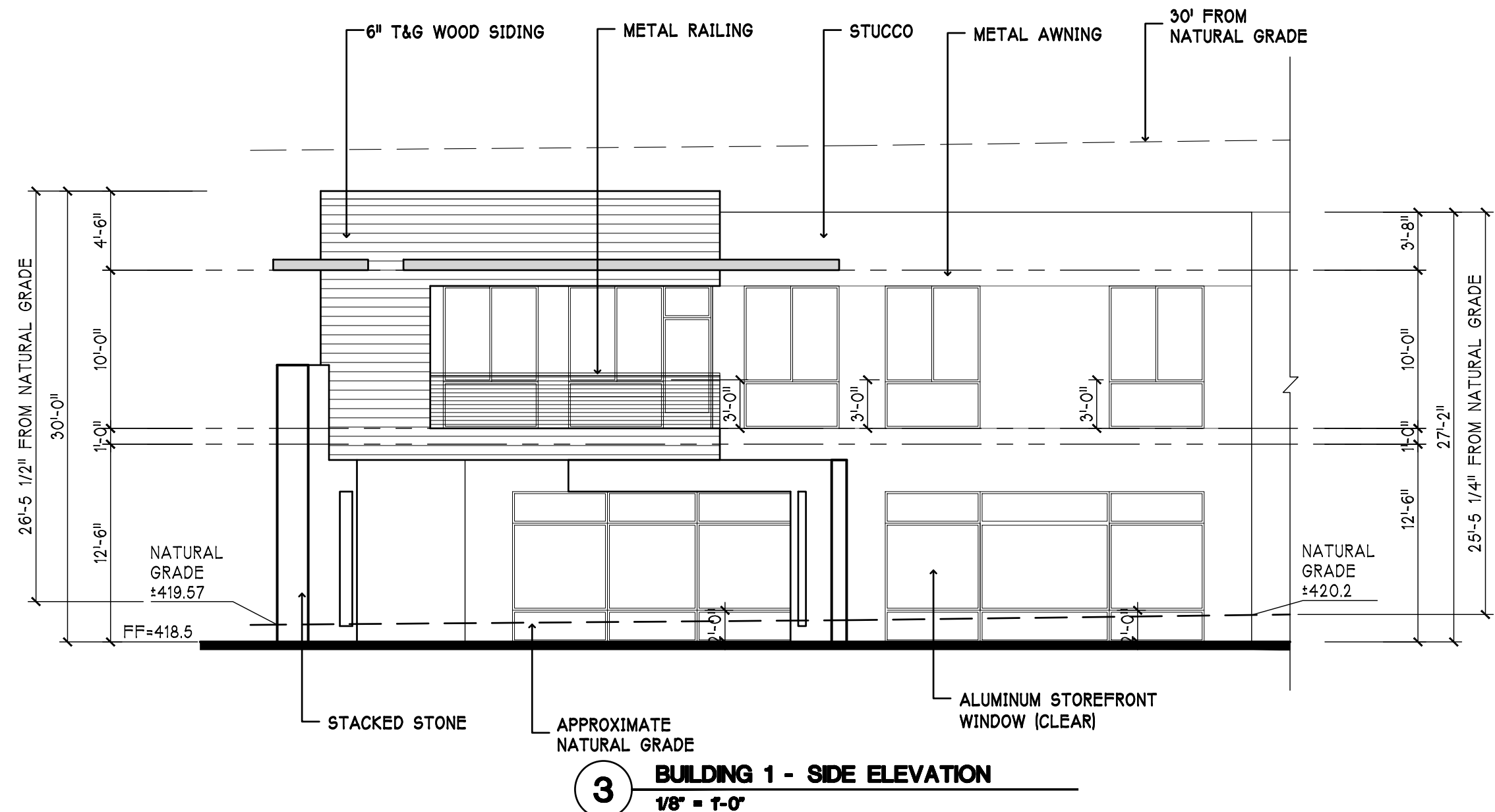
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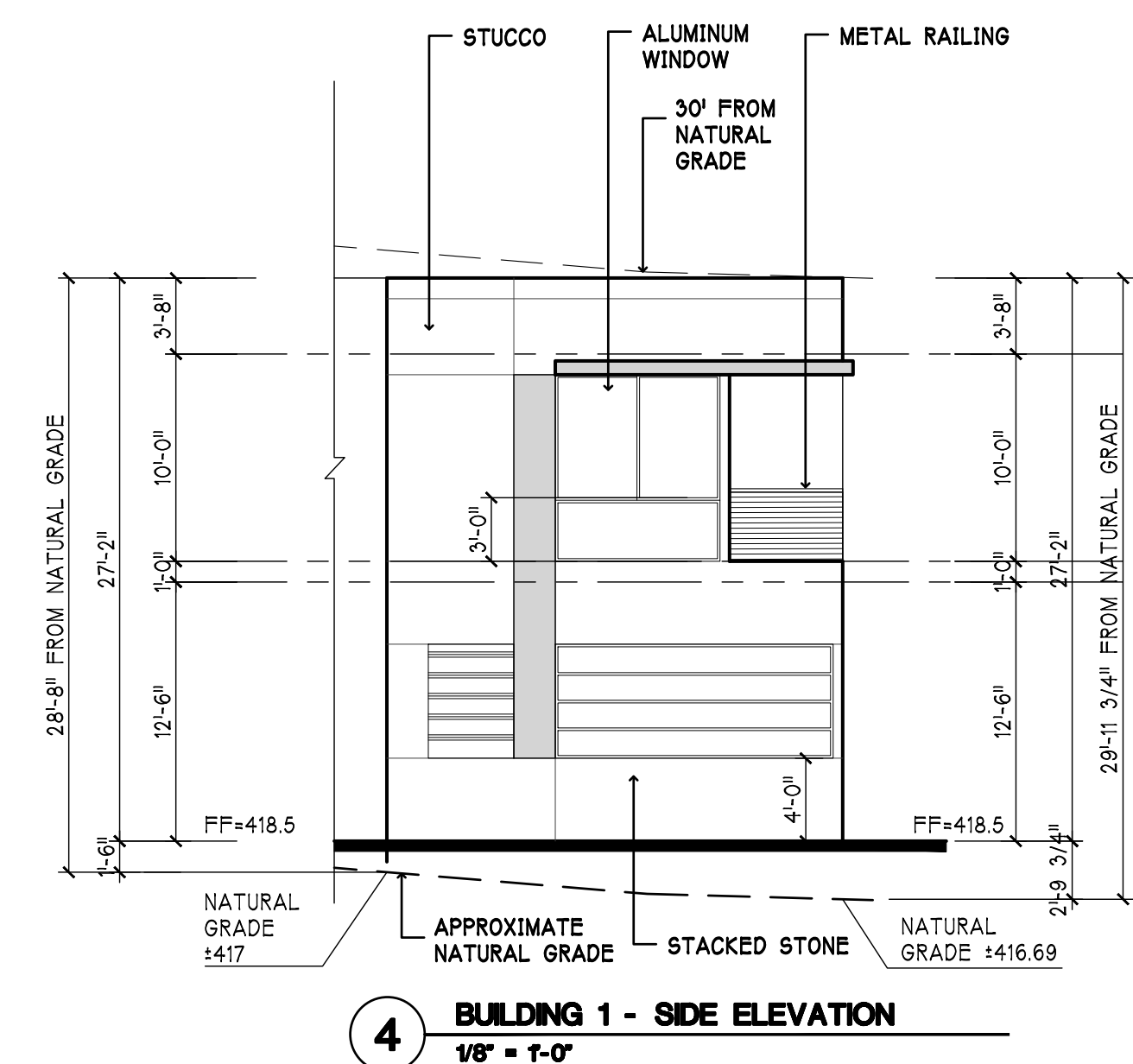
1 BUILDING 1 - FRONT ELEVATION
1/8" = 1'-0"



2 BUILDING 1 - REAR ELEVATION
1/8" = 1'-0"



3 BUILDING 1 - SIDE ELEVATION
1/8" = 1'-0"



4 BUILDING 1 - SIDE ELEVATION
1/8" = 1'-0"

GENERAL NOTES:
COPPER METAL ROOFING, COPPER GRANULE CONTAINING ASPHALT SHINGLES, COPPER GUTTERS & DOWNSPOUTS, AND/OR OTHER EXTERIOR ORNAMENTAL COPPER ARE NOT PERMITTED FOR USE ON ANY COMMERCIAL OR INDUSTRIAL BUILDING.

CANYON CROSSINGS

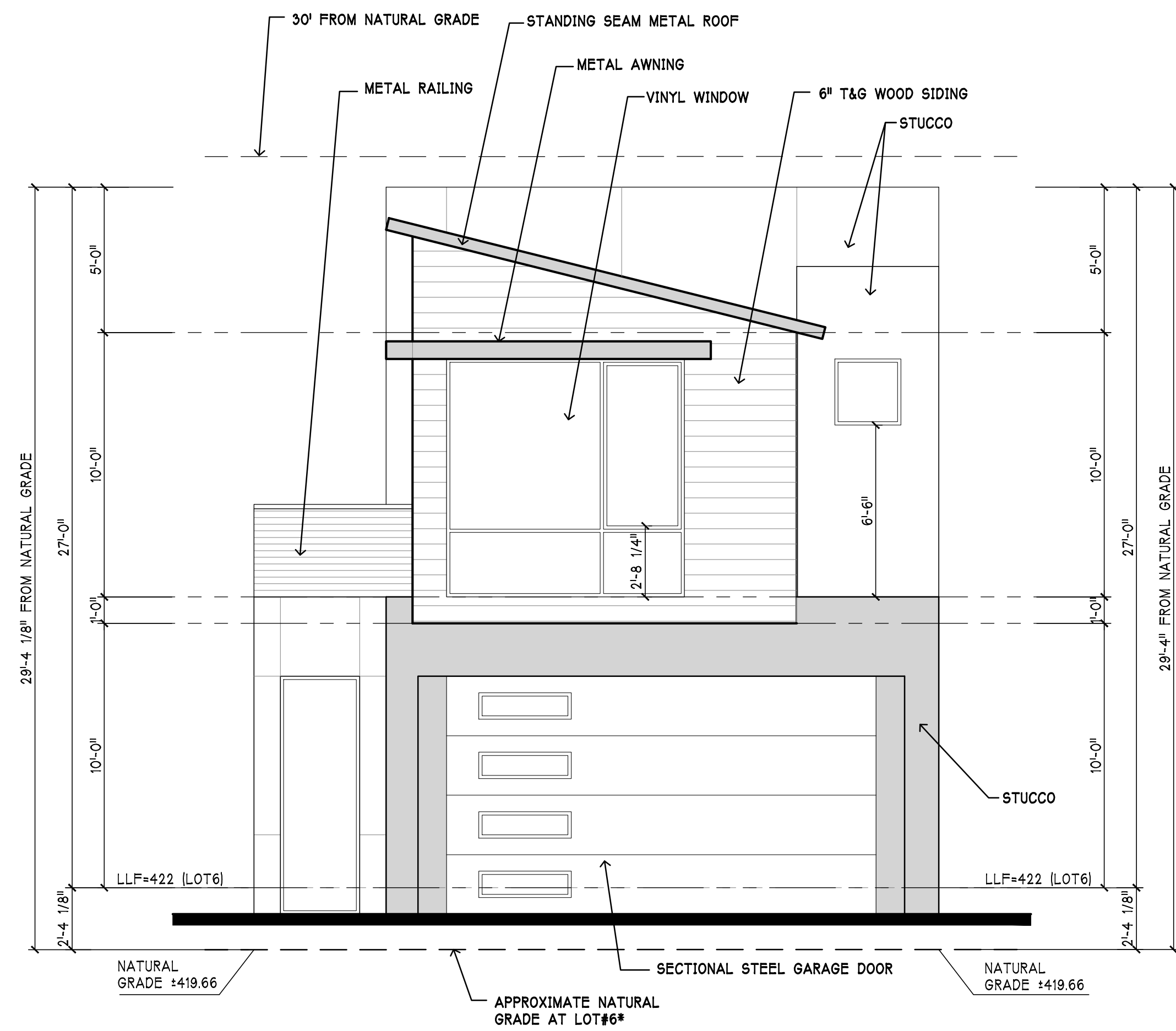
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Scale:
Revisions: 04/11/2017
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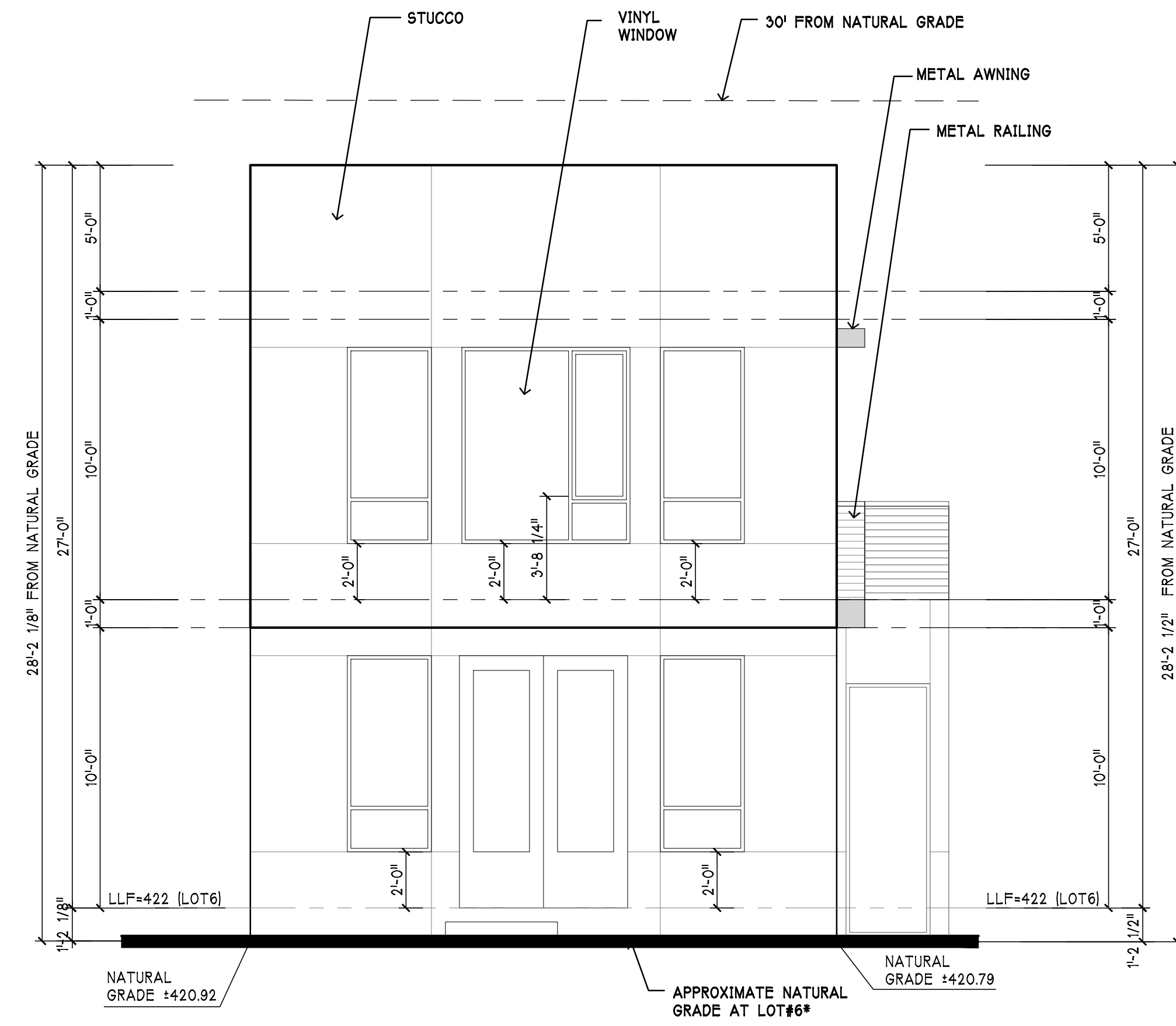
Drawing Title:
BUILDING ONE ELEVATIONS
Sheet No.:

A3a

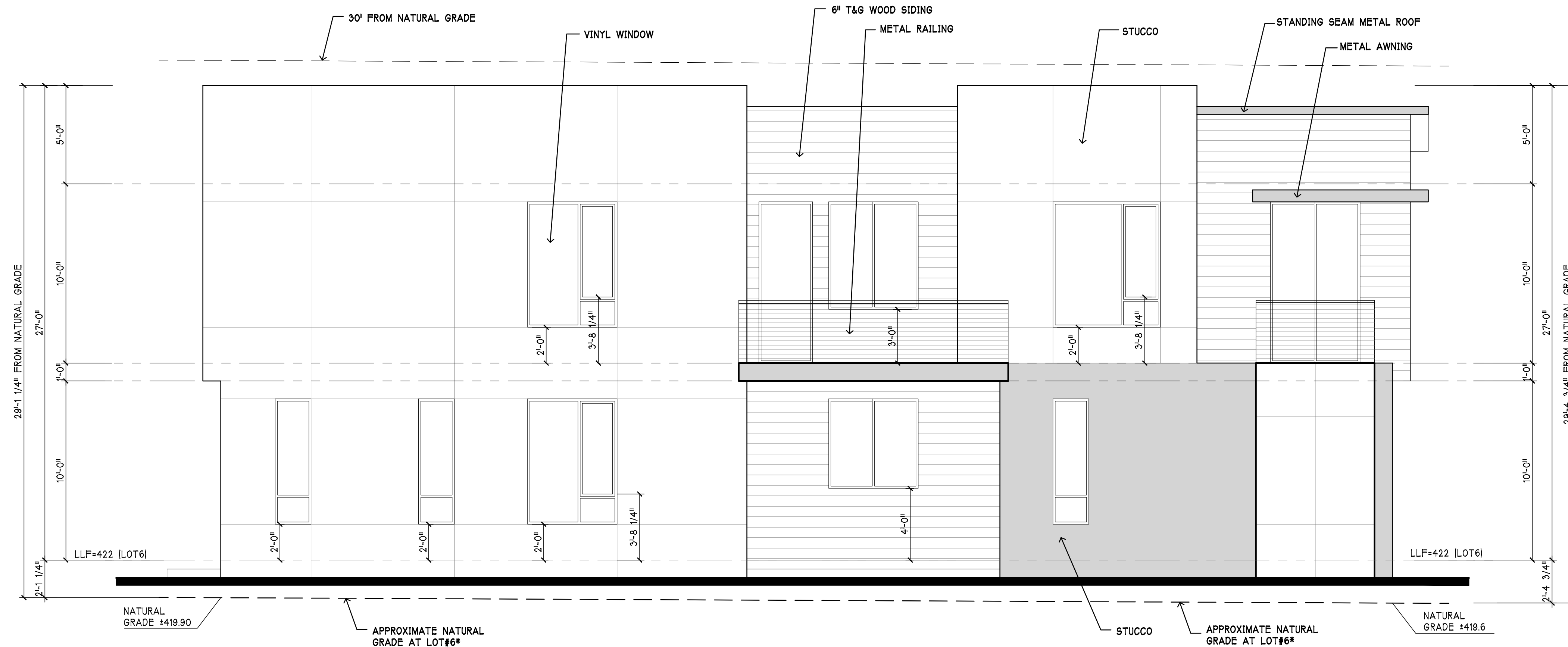
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1 PLAN A - FRONT ELEVATION
1/4" = 1'-0"



2 PLAN A - REAR ELEVATION
1/4" = 1'-0"



3 PLAN A - SIDE ELEVATION (@CORNER LOT)
1/4" = 1'-0"

* NATURAL GRADE OF LOT# 6 IS SHOWN HERE BECAUSE THE BUILDING ON LOT#6 HAS THE HIGHEST FF ELEVATION AMONG THESE 5 SINGLE FAMILY BUILDINGS.

CANYON CROSSINGS

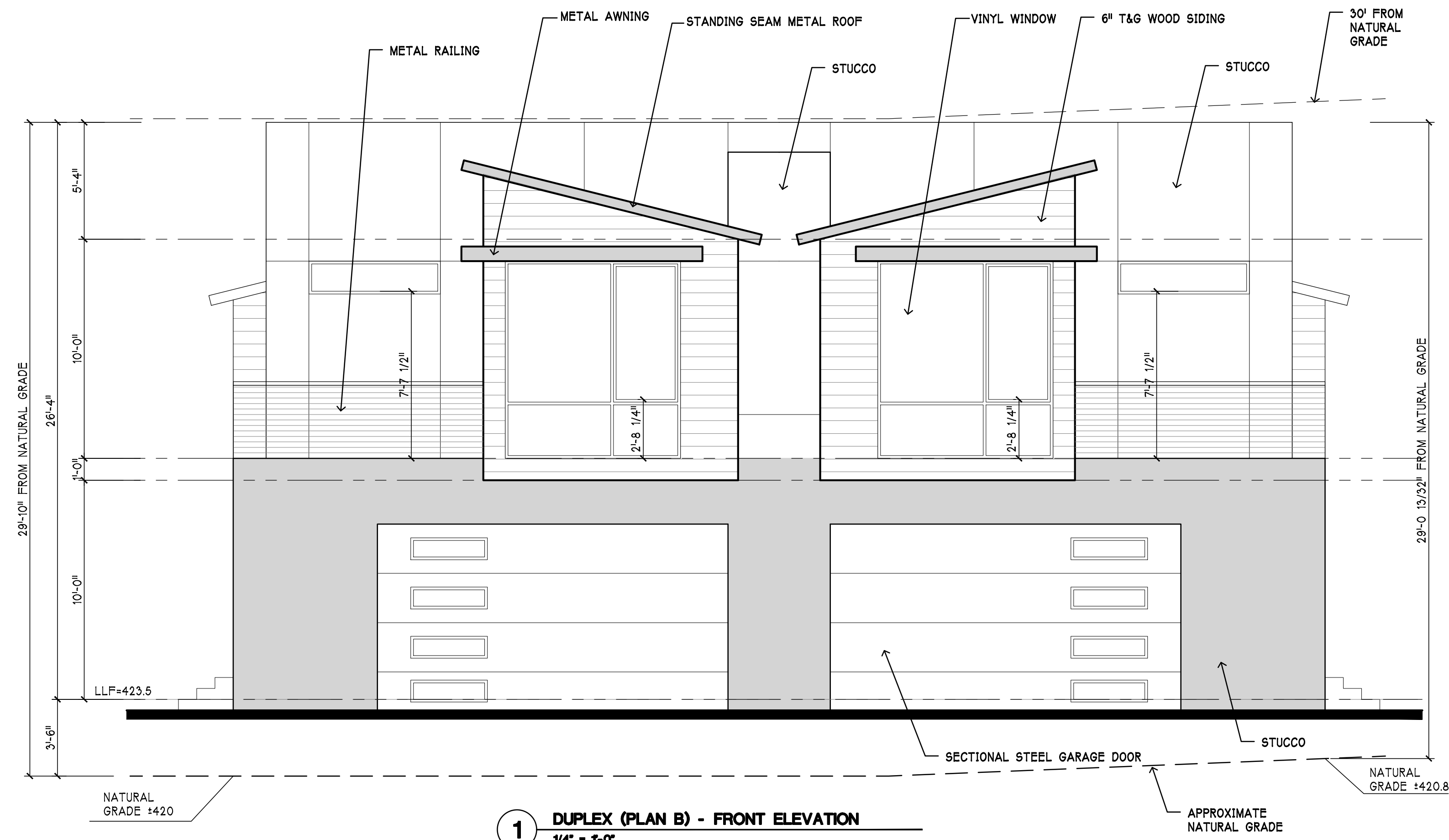
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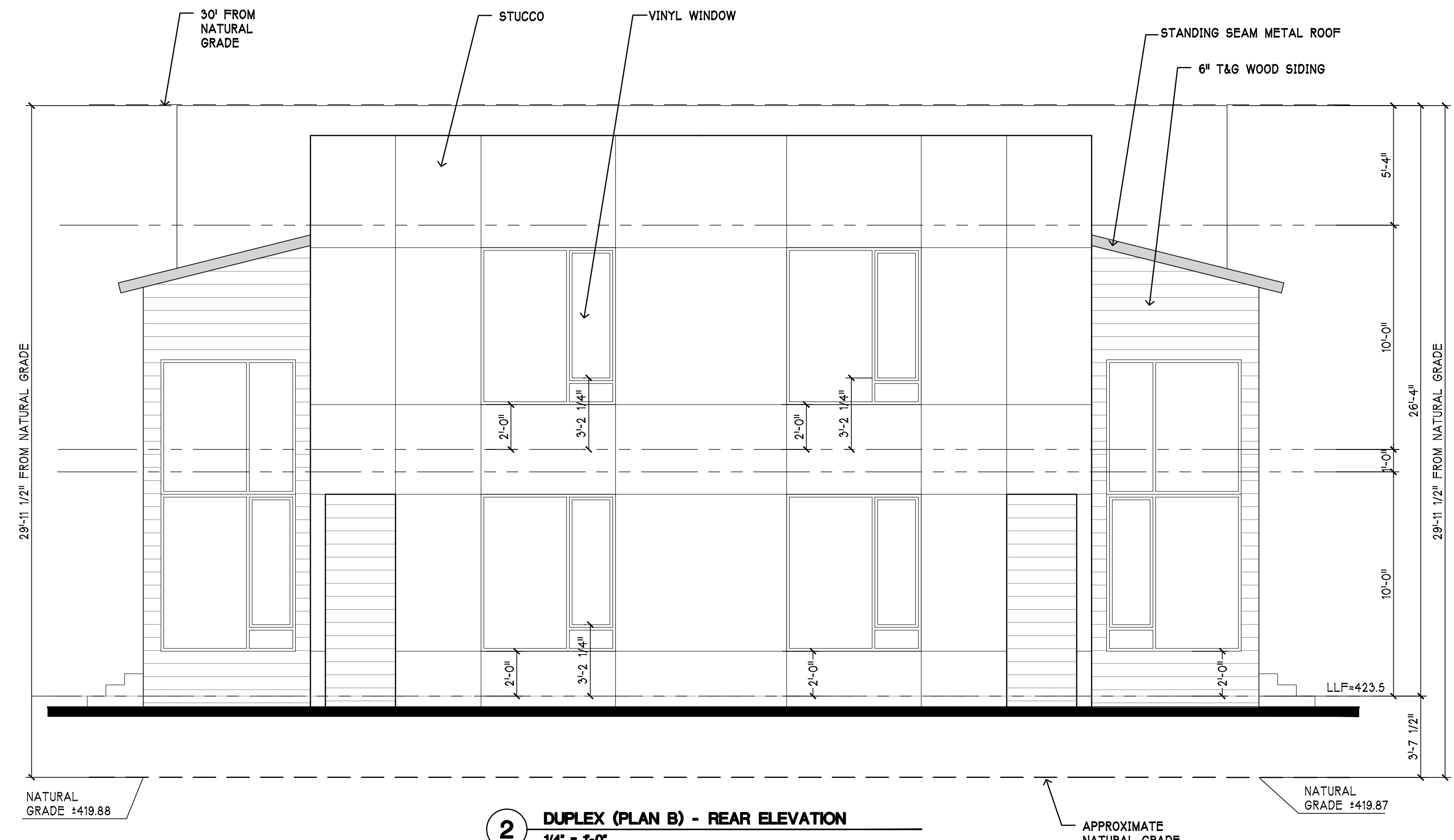
Drawing Title:
**PLAN A
ELEVATIONS**
Sheet No.:

A3b

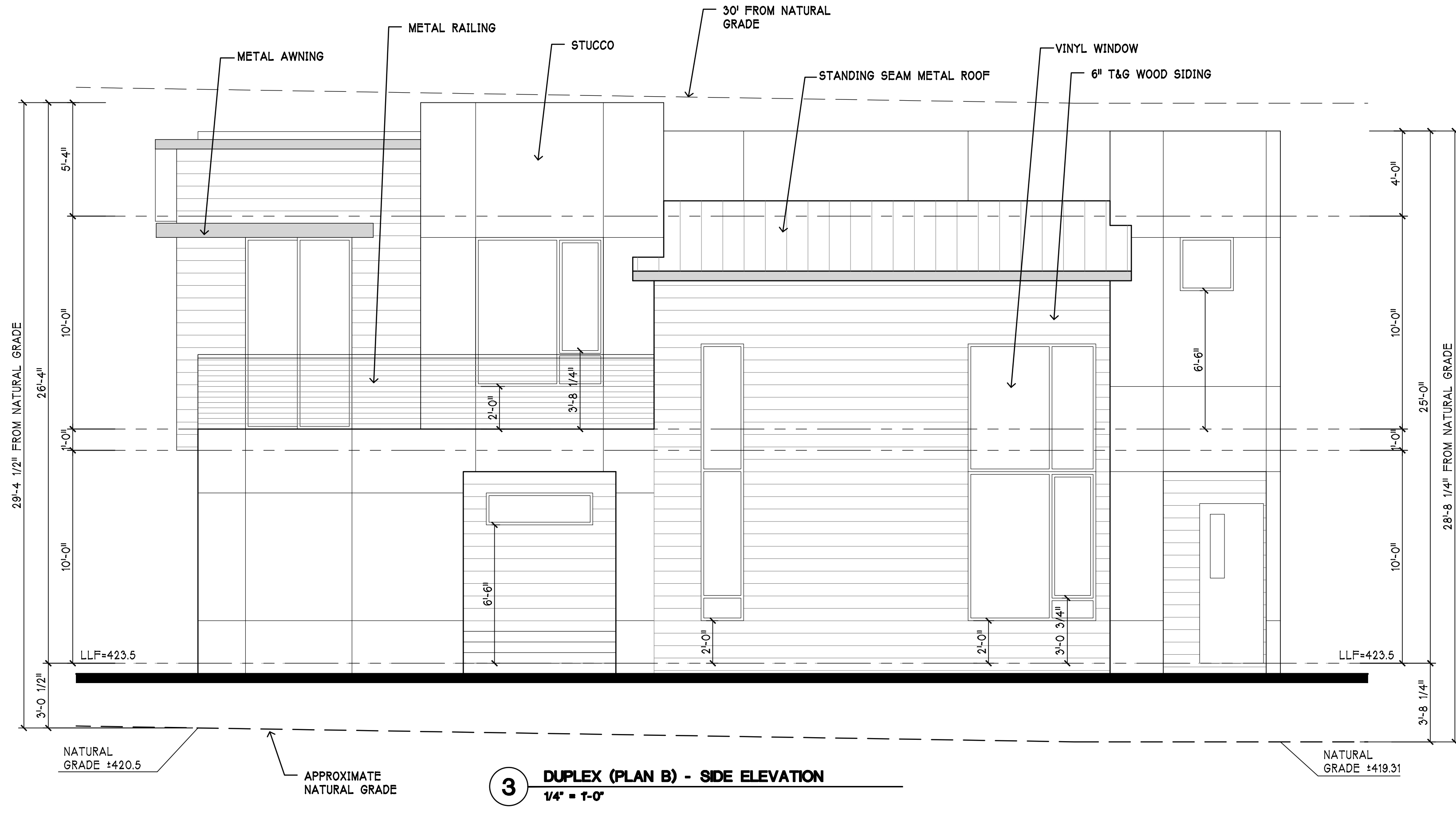
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1 DUPLEX (PLAN B) - FRONT ELEVATION
1/4" = 1'-0"



2 DUPLEX (PLAN B) - REAR ELEVATION
1/4" = 1'-0"



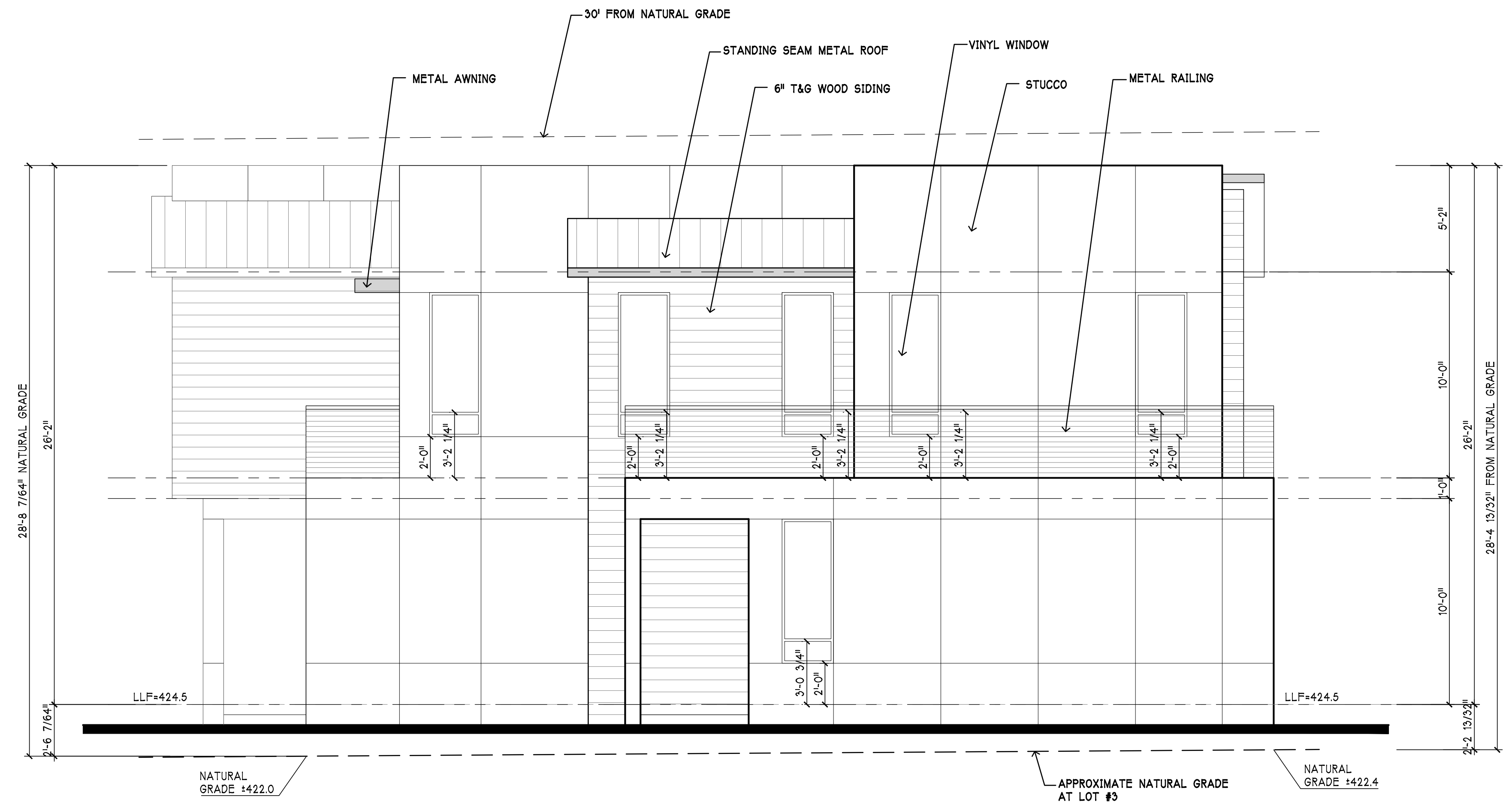
3 DUPLEX (PLAN B) - SIDE ELEVATION
1/4" = 1'-0"

CANYON CROSSINGS

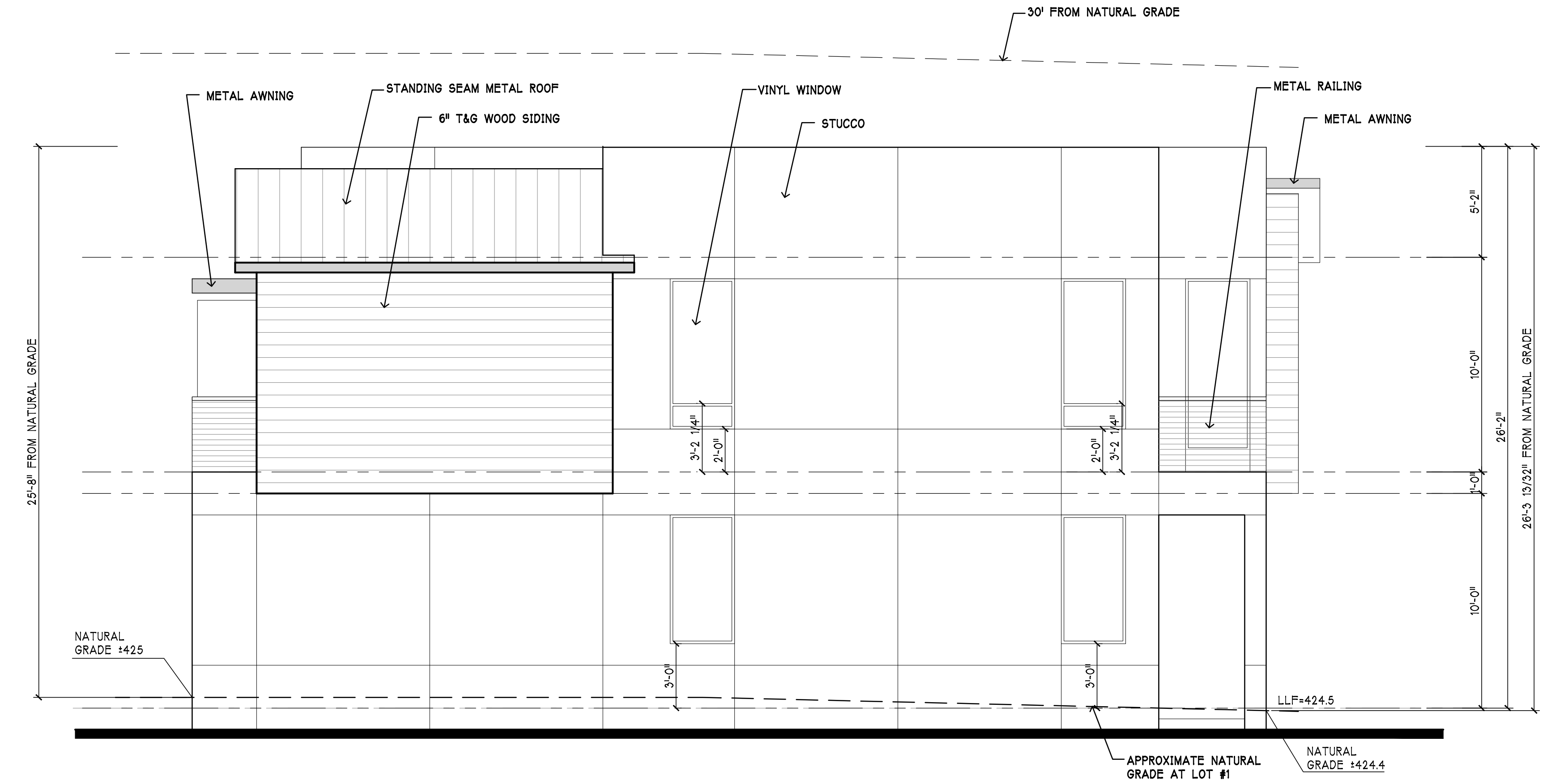
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Date: 12/15/2017	Drawing Title:	LPMD Architects
Scale:	DUPLEX (PLAN B) ELEVATIONS	
Revisions: 04/11/2017	Sheet No:	
01/11/2019	A3c	

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1 TRIPLEX (PLANS C, C & D) - STREET SIDE ELEVATION @ LOTS 1-3
1/4" = 1'-0"



2 TRIPLEX (PLANS C, C & D) - INTERIOR SIDE ELEVATION (@ LOTS 1-3)
1/4" = 1'-0"

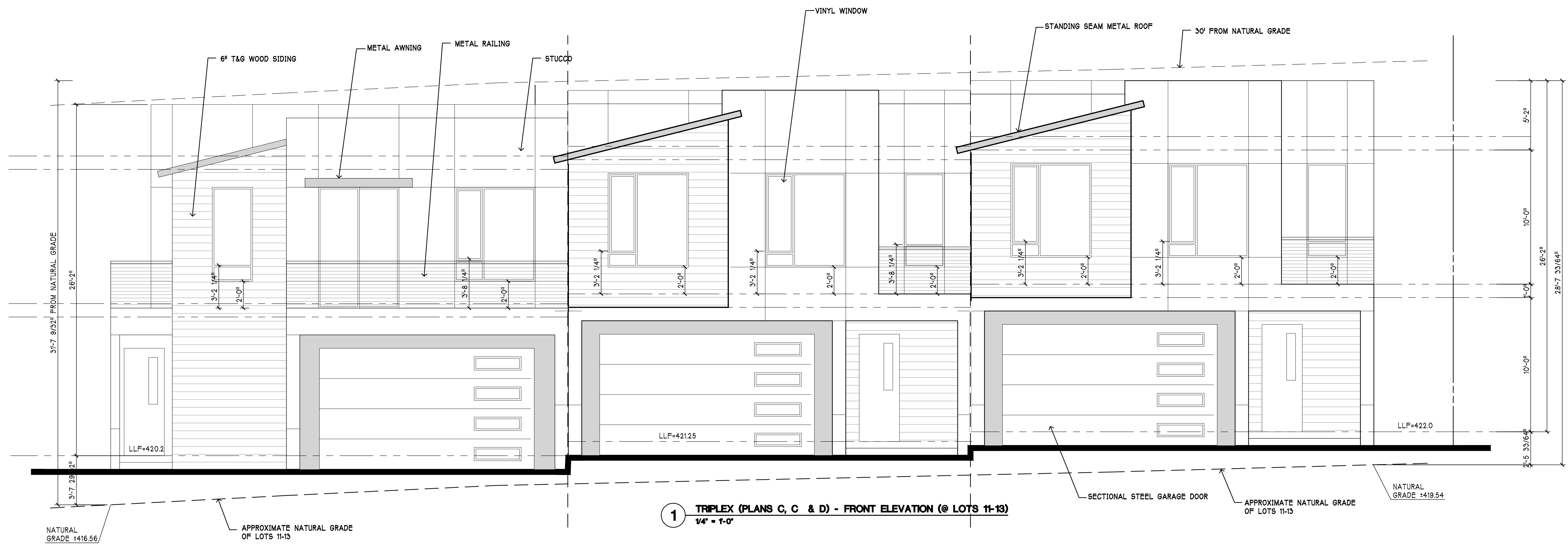
CANYON CROSSINGS

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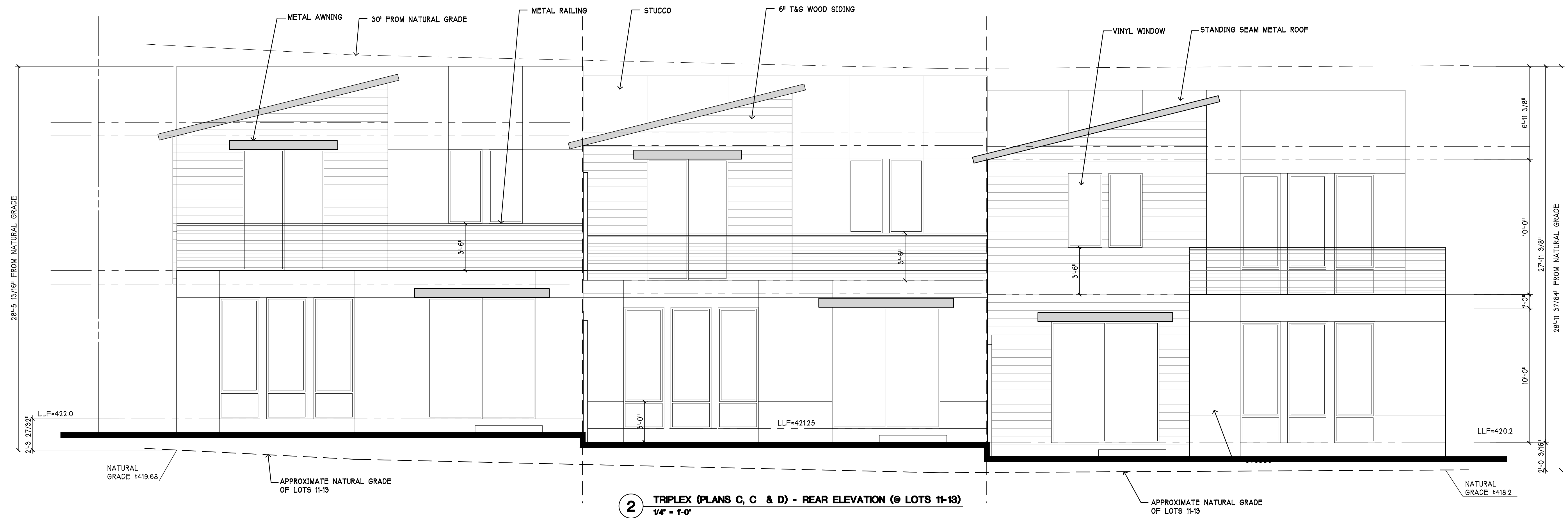
Date: 12/15/2017
Scale:
Revisions: 04/11/2017
01/11/2019

Drawing Title:
**TRIPLEX
ELEVATIONS**
Sheet No:
A3e

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1 TRIPLEX (PLANS C, C & D) - FRONT ELEVATION (@ LOTS 11-13)
1/4" = 1'-0"



2 TRIPLEX (PLANS C, C & D) - REAR ELEVATION (@ LOTS 11-13)
1/4" = 1'-0"

CANYON CROSSINGS

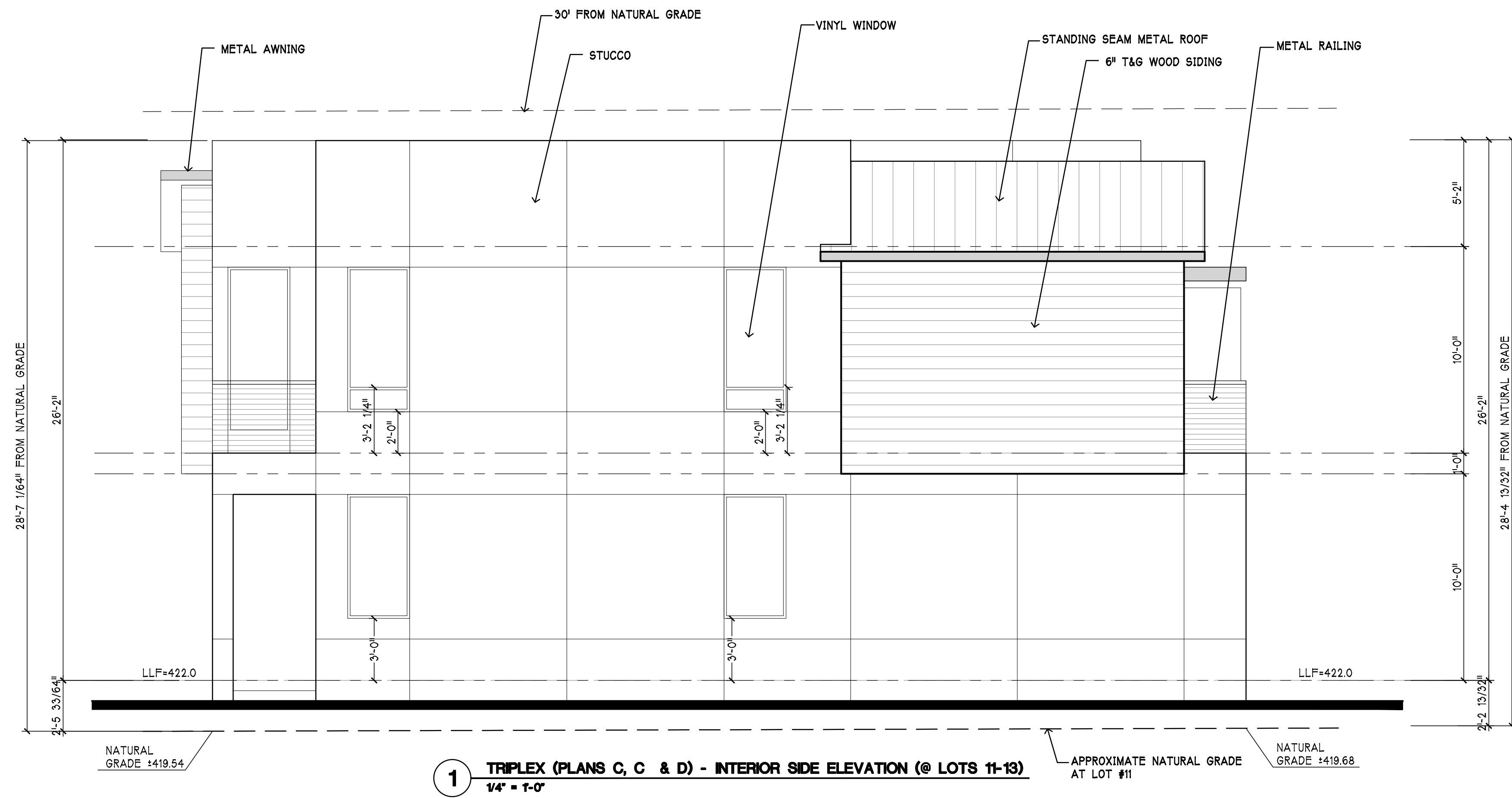
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Scale:
Revisions: 04/11/2017
01/11/2019

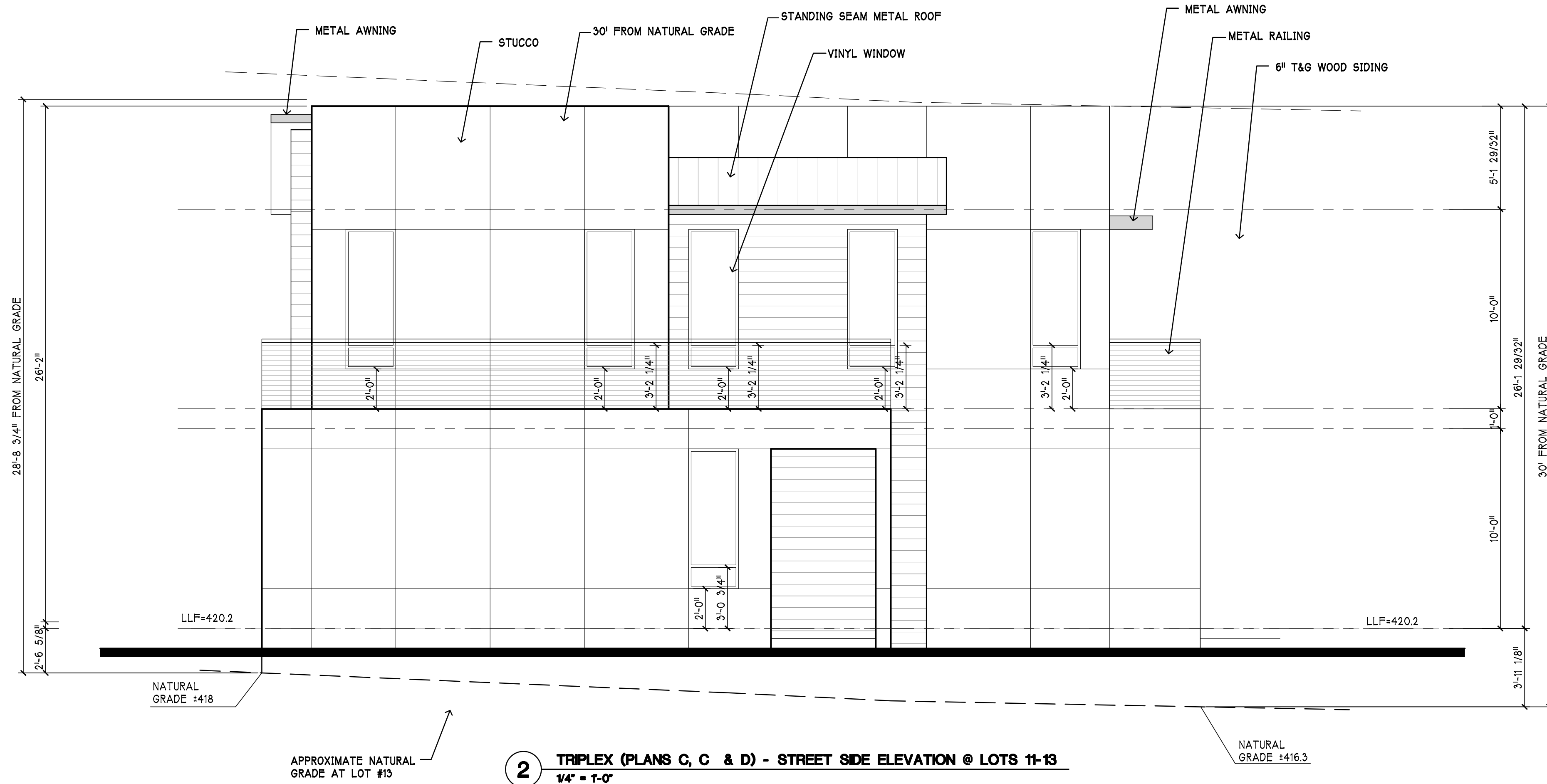
Drawing Title:
**TRIPLEX
ELEVATIONS**
Sheet No.:

A3f

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1 TRIPLEX (PLANS C, C & D) - INTERIOR SIDE ELEVATION (@ LOTS 11-13)
1/4" = 1'-0"



2 TRIPLEX (PLANS C, C & D) - STREET SIDE ELEVATION @ LOTS 11-13
1/4" = 1'-0"

CANYON CROSSINGS

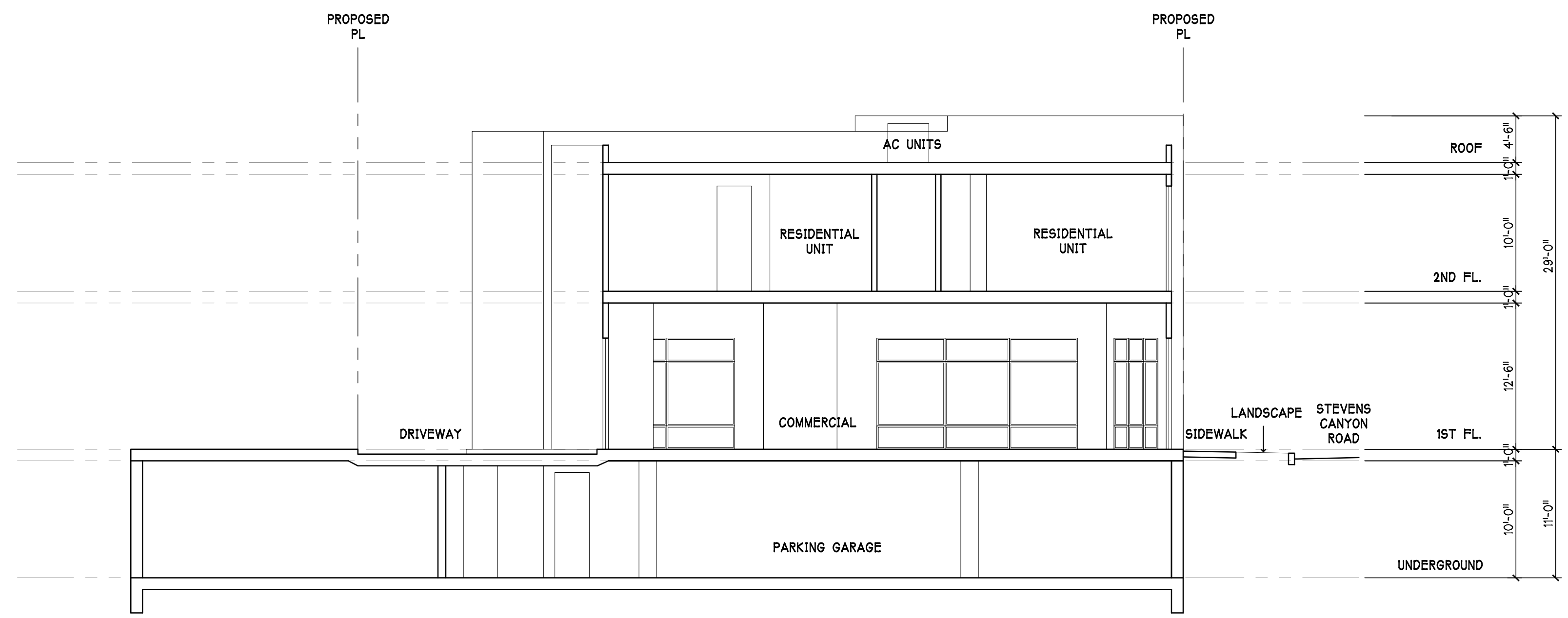
10625 S. FOOTHILL BLVD.
CUPERTINO - CALIFORNIA

Date: 12/13/2017
Scale:
Revisions: 04/11/2017
01/11/2019

Drawing Title:
**TRIPLEX
ELEVATIONS**
Sheet No:

A3g

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1 BUILDING 1 - SECTION
1/8" = 1'-0"

CANYON CROSSINGS
10625 S. FOOTHILL BLVD.
CUPERTINO - CALIFORNIA

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Drawing Title:
BUILDING ONE SECTION
Sheet No:
A4a

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1 STREETScape-VIEW FROM NORTH
NTS



2 STREETScape-VIEW FROM SOUTH
NTS

CANYON CROSSINGS
10625 S. FOOTHILL BLVD.
CUPERTINO - CALIFORNIA

Date: 12/15/2017
Scale:
Revisions: 04/11/2017
01/11/2018

Drawing Title:

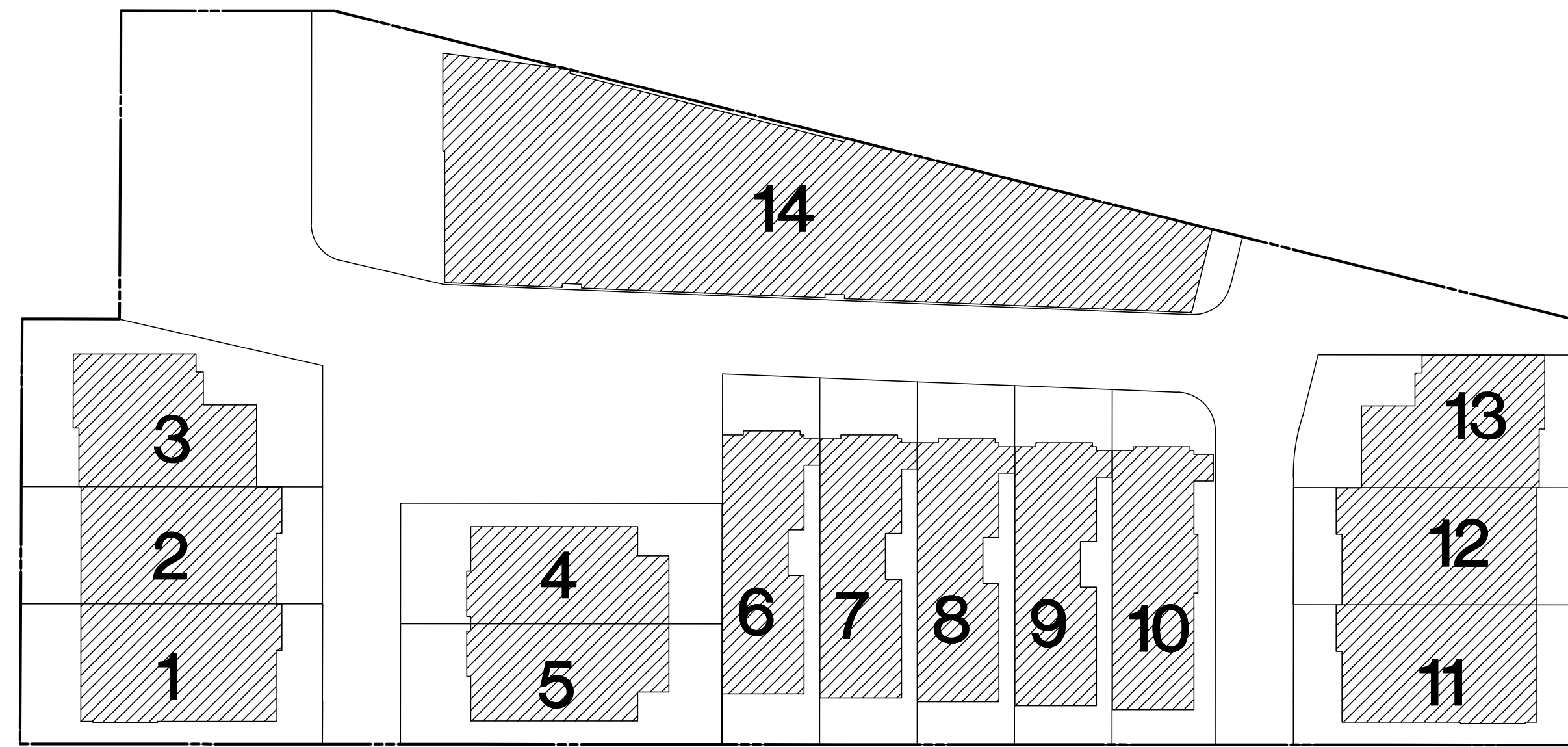
STREETScape

Sheet No:

A5

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① LOT COVERAGE
VF = 1-0'

LOT COVERAGE CALCULATIONS

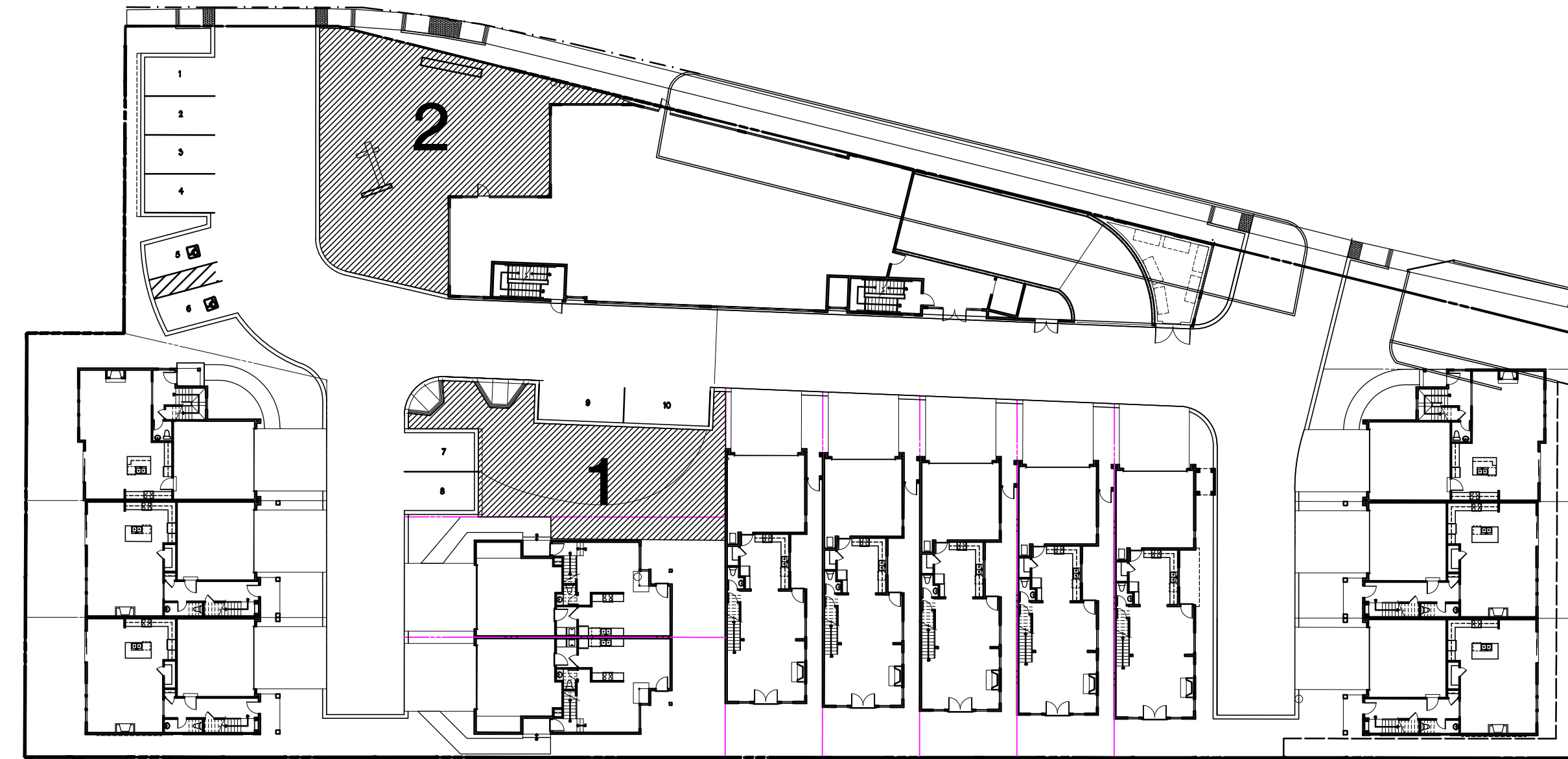
SITE AREA = 60,374 SF
COVERAGE = 26,389 SF

$$= \frac{26,389}{60,374} = 0.44 = 44\%$$

LOT 1 = 2,784 SF	$\frac{1,531 \text{ SF}}{2,784 \text{ SF}} = 0.549 =$	54.9%
LOT 1 COVERAGE =		
LOT 2 = 2,318 SF	$\frac{1,521 \text{ SF}}{2,318 \text{ SF}} = 0.656 =$	65.6%
LOT 2 COVERAGE =		
LOT 3 = 3,007 SF	$\frac{1,391 \text{ SF}}{3,007 \text{ SF}} = 0.462 =$	46.2%
LOT 3 COVERAGE =		
LOT 4 = 2,550 SF	$\frac{1,218 \text{ SF}}{2,550 \text{ SF}} = 0.477 =$	47.7%
LOT 4 COVERAGE =		
LOT 5 = 2,554 SF	$\frac{1,218 \text{ SF}}{2,550 \text{ SF}} = 0.477 =$	47.7%
LOT 5 COVERAGE =		
LOT 6 = 2,364 SF	$\frac{1,382 \text{ SF}}{2,364 \text{ SF}} = 0.584 =$	58.4%
LOT 6 COVERAGE =		
LOT 7 = 2,338 SF	$\frac{1,385 \text{ SF}}{2,338 \text{ SF}} = 0.592 =$	59.2%
LOT 7 COVERAGE =		
LOT 8 = 2,313 SF	$\frac{1,385 \text{ SF}}{2,313 \text{ SF}} = 0.598 =$	59.8%
LOT 8 COVERAGE =		
LOT 9 = 2,288 SF	$\frac{1,385 \text{ SF}}{2,288 \text{ SF}} = 0.605 =$	60.5%
LOT 9 COVERAGE =		
LOT 10 = 2,376 SF	$\frac{1,452 \text{ SF}}{2,376 \text{ SF}} = 0.611 =$	61.1%
LOT 10 COVERAGE =		
LOT 11 = 2,596 SF	$\frac{1,529 \text{ SF}}{2,596 \text{ SF}} = 0.588 =$	58.8%
LOT 11 COVERAGE =		
LOT 12 = 2,171 SF	$\frac{1,514 \text{ SF}}{2,171 \text{ SF}} = 0.697 =$	69.7%
LOT 12 COVERAGE =		
LOT 13 = 2,386 SF	$\frac{1,389 \text{ SF}}{2,386 \text{ SF}} = 0.582 =$	58.2%
LOT 13 COVERAGE =		
LOT 14 = 10,631 SF	$\frac{8,095 \text{ SF}}{10,631 \text{ SF}} = 0.761 =$	76.1%
LOT 14 COVERAGE =		

FAR:

LOT 1 = 0.96	LOT 8 = 1.14
LOT 2 = 1.16	LOT 9 = 1.15
LOT 3 = 0.83	LOT 10 = 1.11
LOT 4 = 0.81	LOT 11 = 1.03
LOT 5 = 0.81	LOT 12 = 1.24
LOT 6 = 1.11	LOT 13 = 1.04
LOT 7 = 1.13	LOT 14 = 0.80



① OPEN SPACE
VF = 1-0'

REQUIRED USABLE COMMON OPEN SPACE:

150 SF/DU

OPEN SPACE CALCULATIONS

AREA 1: 2,013 SF
AREA 2: 2,995 SF

TOTAL: 5,008 SF

5% OF COMMERCIAL GROSS FLOOR AREA IS REQUIRED FOR COMMERCIAL OPEN SPACE

COMMERCIAL = 4,500 SF x 0.05 = 225 SF

225 SF OF THE TOTAL OPEN SPACE SHALL BE DEDICATED TO COMMERCIAL.

USABLE COMMON OPEN SPACE IS NOW =

5,008 SF - 225 SF = 4,783 SF

$\frac{4,783}{18 \text{ UNITS}} =$ **265 SF/DU**

CANYON CROSSINGS

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Drawing Title:
AREA CALCS

Sheet No:

A6

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