

Sean Hatch, CASp

From: Nandy Kumar <nkumar@shcmllc.com>
Sent: Thursday, November 21, 2019 5:08 PM
To: Albert Salvador, P.E., C.B.O; Paul Hansen
Cc: Sean Hatch, CASp; Paul O'Sullivan; Benjamin Fu; Winnie Pagan; Chad Mosley
Subject: RE: Recap of this morning's meeting
Attachments: SKM_C45819112017240.pdf

Albert

Attached are our response with all the back up documents to your email below. Please let me know if you have any question. This should satisfy your requirements. Also I am hearing that OSHA has released the contractor to continue the demolition work on the wolf road side walls. I am waiting for their permit, as soon as I have that we are planning to start back on the demolition, hopefully tomorrow.

Thanks

Nandy Kumar

Partner

Sand Hill Construction Management, LLC.

Palo Alto Office:

965 Page Mill Road,
Palo Alto, CA 94304

Cupertino Office:

10123 N.Wolf Road, Suite 1043
Cupertino, CA 95014
Email: nkumar@shcmllc.com
Mobile: (408) 593-6605

From: Albert Salvador, P.E., C.B.O <AlbertS@cupertino.org>
Sent: Monday, November 18, 2019 3:57 PM
To: Nandy Kumar (nkumar@shcmllc.com) <nkumar@shcmllc.com>; Paul Hansen <phansen@shcmllc.com>
Cc: Sean Hatch, CASp <SeanH@cupertino.org>; Paul O'Sullivan <PaulOS@cupertino.org>; Benjamin Fu <BenjaminF@cupertino.org>; Winnie Pagan <WinnieP@cupertino.org>; Chad Mosley <ChadM@cupertino.org>
Subject: Recap of this morning's meeting

Nandy / Paul,

Thanks for meeting with us today. Here is a recap of this morning's meeting regarding the items that will be provided to the City by tomorrow.

1. An extension of the Encroachment permit will be applied for. Winnie was present at the meeting and will process the extension.
2. Sand Hill will provide a demolition schedule for the remainder of the demolition activities.
3. Sand Hill agrees to pay for a full time third-party building inspector to monitor activities for the remainder of the demolition phase.
4. Sand Hill will provide the letter from the Structural Engineer verifying the stand-alone Wolfe bridge meets current seismic and structural requirements. A separate letter will be provided to verify the demolition of the portion of the mall west of the Wolfe bridge did not impact or change the structural stability of the bridge.
5. Sand Hill agrees to stop traffic for demolition activities that may impact public safety on the public right-of-way.
6. Debris screening will be provide for demolition activities adjacent to the public right-of-way.

7. No demolition activity will take place until Wednesday. Cleaning up debris will be allowed through this cooling off period.
8. A letter from Vector Control to verify any rodent activity was mitigated prior the start of the demolition.



Albert Salvador, P.E., C.B.O

Asst. Director of CDD/Building Official
Building Division

AlbertS@cupertino.org

(408) 777-3206





SAND HILL CONSTRUCTION MANAGEMENT, LLC

965 PAGE MILL ROAD, PALO ALTO, CA 94034

November 19, 2019

Albert Salvador
City of Cupertino, Building Division
10300 Torre Ave
Cupertino, CA 95014

RE: Vallco Town Center – Demolition Zone A2

Dear Albert:

I have the following response to the items discussed in our meeting with the City of Cupertino 11-18-19 and per your email dated 11-18-19:

1. Encroachment Permit:
 - a. Sidewalk Closure Permit – Permit No. 2019-0197 issued on 9-27-19 and valid up to 10-27-19. An extension to this permit was issued to extend it up to 11/22/19. Second extension of this permit was submitted on 11-19-19 for extension up to 12/6/19. Please see attached back up for all the above.
 - b. The dedicated Driveway lane into Vallco Property (right lane on the Southbound lanes of Wolf road). Permit No 2019-00055. Expired on 8-5-19. On August 7th, 2019. We received our A2 demo permit which closed the driveway to our property as that area has become an active construction site. The dedicated right turn lane to our property was also rendered unusable at this time and hence the permit was not extended.
2. Attached a schedule for the Zone A2 and C Demolition as requested.
3. The Owner agrees to pay the City of Cupertino for the cost to hire a full-time third-party building inspector for the remainder of the demolition phase.
4. Attached is a letter from the Structural Engineer of Record regarding the structural integrity of the stand-alone Wolfe Road bridge, both before and after demolition of the west side building of the bridge.
5. We agree to implement additional safety measure by stopping the traffic temporarily during demolition as needed to maintain public safety on the public right-of-way.
6. We agree to the use of debris screen during the demolition of the High wall along the Wolf roadside for added public safety
7. We agree not to demo the high wall on the Wolfe roadside until 11-22-19. This is beyond the 11-20-19 date agreed to in our meeting. The date was extended to give time to receive Cal-OSHA report.
8. Attached is a letter from a vector control company confirming the structure was rodent free prior to demolition.

Please let me know if you have any questions or required any additional information.

Sincerely,

Nandy Kumar

Partner

Sandhill Construction Management, LLC

Mobile: (408) 593-6605

Email: nkumar@shcmllc.com

Nandy Kumar

From: Albert Salvador, P.E., C.B.O <AlbertS@cupertino.org> on behalf of Albert Salvador, P.E., C.B.O
Sent: Monday, November 18, 2019 3:57 PM
To: Nandy Kumar (nkumar@shcmllc.com); Paul Hansen
Cc: Sean Hatch, CASp; Paul O'Sullivan; Benjamin Fu; Winnie Pagan; Chad Mosley
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- 7) No demolition activity will take place until Wednesday. Cleaning up debris will be allowed through this cooling off period.
- 8) A letter from Vector Control to verify any rodent activity was mitigated prior the start of the demolition.



Albert Salvador, P.E., C.B.O

Asst. Director of CDD/Building Official
Building Division
AlbertS@cupertino.org
(408) 777-3206





CUPERTINO
 10300 Torre Ave
 Cupertino, CA 95014-3255
 PH: (408) 777-3354
 FX: (408) 777-3333

Department of Public Works

Encroachment Permit Application

PW-2019-0197

Permit # ~~D-2018-0078~~

Revised 7/2018

Location of Work Vallco Town Center, 10123 North Wolfe Road, Cupertino Building Permit # D-2018-0078

Type of Work: check all that apply

- Sidewalk (at Dynasty Building)
 Driveway Approach
 Curb & Gutter
 Street Light
 Curb Ramp
 Paving
 Utility Trench
 Monitoring Well
 Pool
 Fiber Cable
 News Rack
 Other: _____

PERMITTEE:

Name: Ferma-Silverado, a Joint Venture
 Address: 2855 Mandela Parkway, 2nd Floor
Oakland, CA 94608
 Phone: (510) 658-9960
 Start Date: _____
 # of Working days: 4 weeks at Dynasty Building

CONTRACTOR:


Name: Ferma-Silverado, a Joint Venture
 Address: 2855 Mandela Parkway, 2nd Floor
Oakland, CA 94608
 24 hr. Contact: Liz Galvez
 24 hr. Phone: (510) 882-9956
 Contractor's Lic. No.: 1047058
 City Business Lic. No.: 404357

lizsilveradocontractors.com

ATTACH THE FOLLOWING TO APPLICATION:

- 1) Written Description of Work
- 2) Engineer's Cost Estimate
- 3) Detailed Traffic Control Plan including plan of existing pavement delineation (traffic stripes, pavement markings, and pavement markers) and signs
- 4) Project Plans and Specifications
- 5) Contractors Insurance Certificate (Insurance requirements listed on reverse)

Permittee Signature:  Date: September 3, 2019

Contractor Signature:  Date: September 3, 2019

(CITY USE ONLY)		Expiration: 4 weeks from issue, 10-27-2019	
Permit Fee \$ <u>2351.00</u>	Bond \$ <u>50,000</u>	Type of Bond: <input type="checkbox"/> Cash <input type="checkbox"/> Paper <input type="checkbox"/> Certificate of Deposit	
Receipt #: _____			
Bond Retention Schedule <u>Bond will be returned approximately 95 days after project approval and sign off by the City.</u>			
Approved By: <u>Steven Pagan</u>		9-27-2019	
SEE REVERSE FOR PERMIT CONDITIONS			

SPECIAL CONDITIONS:

Sidewalk closure in effect 24/7 for 4 weeks from date of permit issuance.

Work hours limited to Monday – Friday: 7:00 a.m. 8:00 a.m. to 4:30 p.m. 8:00 p.m.

Work hours in pavement limited to: 8:00 a.m. 9:00 a.m. to 3:30 p.m. 4:30 p.m.

Any violation of working hours shall result in "STOP WORK" notice

Two lanes of traffic to be maintained at all times

Permanent paving must be installed **WITHIN 5 WORKING DAYS** after completion

Pavement delineation or signs damaged during construction shall be replaced in kind

Pavement section shall match existing

Street Cut Moratorium Applies (CMC 14.08.040)

Slurry Seal Required Half Width Full Width Other

All Trenching shall be backfilled to a minimum of 95% relative compaction

Trench plates in the travel way shall be traffic rated, properly secured and shall be recessed upon request

If trench is 3' of less from Lip of Gutter, contractor shall repave to Lip of Gutter.

Jobsite shall be properly posted 48 hours in advance. Barricades must bear the name and phone number (24 hour number) of the contractor or utility performing work. All signs attached to barricades must show the days and dates when work will be performed. Parking may not be restricted on Saturday or Sunday.

BMP Sheet Attached

Potholes and bore pits shall be filled to grade with cutback at end of each work day:

Other Lane closure not permitted under this permit; if necessary, applicant to resubmit to City for lane closure.

Clarification: Sidewalk closed signs are placed on west side of N. Wolfe Rd only at locations shown on aerial photo, between Pruneridge and Vallco Pkwy.

General Conditions:

- 1) The Public Works Inspector of the City of Cupertino, (408) 205-6326 or (408) 777-3354, shall be notified at least 48 hours prior to beginning work in the public Right-of-Way or requesting inspection of work. After the work is completed, notify the Public Works Inspector to schedule a final inspection.
- 2) A copy of this permit must be kept on the job site.
- 3) The applicant shall notify County Communications, (408) 299-2501, at least 24 hours prior to any work in the traveled way section of a street.
- 4) Permittee shall employ construction best management practices which will prevent pollutants such as mud, silt, chemical residue, and washings from concrete saw-cutting from entering storm drains. Brochures are available at the Public Works counter.
- 5) The applicant agrees that if the encroachment for which this permit is issued which shall at any time in the future interfere with the use, repair, improvement, widening, or change of grade of any street, roadway, highway, sidewalk, curb, drain, or Right-of-Way, applicant or his successor or assigns, shall within 14 days after receipt of written notice from the Director of Public Works to do so, at its own expense either remove such encroachment subject to approval from the Director, or relocate to a site which may be designated by the Director. Any encroachment removed by the City will not be replaced.
- 6) To the fullest extent allowed by law, PERMITEE and CONTRACTOR shall indemnify and hold harmless CITY, its City Council, boards and commissions, officers, officials, agents, employees, servants, consultants and volunteers (hereinafter, "Indemnitees") from and against any liability, loss, damage, expense, and cost (including reasonable legal fees and costs of litigation or arbitration), resulting from injury to or death of any person, damage to property, or liability for other claims, stop notices, demands, causes of actions and actions, arising out of or in any way related to Contractor's performance or nonperformance of his/her duties under this Agreement, or from negligent acts or omissions or willful misconduct of Contractor, its agents, employees, or subcontractors. Contractor shall, at his/her own cost and expense, defend any and all claims, actions, suits or legal proceedings that may be brought against the City or any of the Indemnitees (with council acceptable to City) in connection with this Permit or arising out of Developer's performance or nonperformance of his/her duties and obligations hereunder, except to the extent any of the foregoing is caused by the negligence or willful misconduct of the CITY or the CITY'S agents, employees and independent contractors.
- 7) Should the Permittee provide services which are subject to the City's Franchise ordinance, Permittee agrees to pay any applicable City franchise fee.
- 8) This encroachment permit shall be terminable at the sole discretion of the City upon 30 days written notice to the Permittee.
- 9) The applicant's contractor shall carry at all times commercial general liability insurance with a combined single limit of \$2.0 million per occurrence; \$4.0 million aggregate; and provide a Certificate of Insurance and Endorsement naming the City as Additional Insured. Insurers must be licensed to do business within the State of California and have a current Best's Guide Rating of A, Class VII or better or that is otherwise acceptable to the City. Insurance shall be primary and non-contributory.
- 10) All work within the public Right of Way must be completed by a contractor who holds a current Class A or appropriate Class C license and a current City of Cupertino business license.
- 11) Permittee and Contractor shall comply with Chapter 11.32 of the Cupertino Municipal Code "Truck Traffic Routes". **No person shall operate or drive any truck that exceeds a gross weight of three tons between the hours of 7:00 a.m. and 9:30 am or 2:00 p.m. and 4:00 p.m. on the following roadway segments:**
 - a. any roadway which runs contiguous to and is within 500 feet of any public school (excluding Homestead Rd and Bollinger Rd)
 - b. McClellan Road, between Stelling Road and Bubb Road.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED – OWNERS, LESSEES OR CONTRACTORS – SCHEDULED PERSON OR ORGANIZATION

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s):	Location(s) Of Covered Operations
<p>All persons or organizations with whom you have entered into a written contract or agreement, prior to an "occurrence" or offense, to provide additional insured status.</p>	<p>All locations as required by a written contract or agreement entered into prior to an "occurrence" or offense.</p>
<p>Information required to complete this Schedule, if not shown above, will be shown in the Declarations.</p>	

A. Section II – Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by:

1. Your acts or omissions; or
2. The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured(s) at the location(s) designated above.

B. With respect to the insurance afforded to these additional insureds, the following additional exclusions apply:

This insurance does not apply to "bodily injury" or "property damage" occurring after:

1. All work, including materials, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or
2. That portion of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED – OWNERS, LESSEES OR CONTRACTORS – COMPLETED OPERATIONS

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s):	Location And Description Of Completed Operations
All persons or organizations with whom you have entered into a written contract or agreement, prior to an "occurrence" or offense, to provide additional insured status	All locations as required by a written contract or agreement entered into prior to an "occurrence" or offense.
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.	

Section II – Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury" or "property damage" caused, in whole or in part, by "your work" at the location designated and described in the schedule of this endorsement performed for that additional insured and included in the "products-completed operations hazard".

Policy Number TB2661066455029
Issued by LIBERTY MUTUAL FIRE INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

OTHER INSURANCE AMENDMENT – SCHEDULED ADDITIONAL INSURED

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART
PRODUCTS/COMPLETED OPERATIONS LIABILITY COVERAGE PART
LIQUOR LIABILITY COVERAGE PART

Schedule

Person or Organization: All persons or organizations with whom you have entered into a written contract or agreement. prior to an "occurrence" or offense, to provide additional insured status.

If you are obligated under a written agreement to provide liability insurance on a primary, excess, contingent, or any other basis for any person or organization shown in the Schedule of this endorsement that qualifies as an additional insured on this policy, this policy will apply solely on the basis required by such written agreement and Paragraph 4. Other Insurance of Section IV - Conditions will not apply. If the applicable written agreement does not specify on what basis the liability insurance will apply, the provisions of Paragraph 4. Other Insurance of Section IV - Conditions will govern. However, this insurance is excess over any other insurance available to the additional insured for which it is also covered as an additional insured by attachment of an endorsement to another policy providing coverage for the same "occurrence", claim or "suit".

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

DESIGNATED INSURED FOR COVERED AUTOS LIABILITY COVERAGE

This endorsement modifies insurance provided under the following:

AUTO DEALERS COVERAGE FORM
BUSINESS AUTO COVERAGE FORM
MOTOR CARRIER COVERAGE FORM

With respect to coverage provided by this endorsement, the provisions of the Coverage Form apply unless modified by this endorsement.

This endorsement identifies person(s) or organization(s) who are "insureds" for Covered Autos Liability Coverage under the Who Is An Insured provision of the Coverage Form. This endorsement does not alter coverage provided in the Coverage Form.

This endorsement changes the policy effective on the inception date of the policy unless another date is indicated below.

<p>Named Insured: Devcon Construction, Incorporated</p> <p>Endorsement Effective Date: 04/30/2019</p>

SCHEDULE

<p>Name Of Person(s) Or Organization(s):</p> <p style="font-size: small;">Any person or organization whom you have agreed in writing to add as an additional insured, but only to coverage and minimum limits of insurance required by the written agreement, and in no event to exceed either the scope of coverage or the limits of insurance provided in this policy.</p>
<p>Information required to complete this Schedule, if not shown above, will be shown in the Declarations.</p>

Each person or organization shown in the Schedule is an "insured" for Covered Autos Liability Coverage, but only to the extent that person or organization qualifies as an "insured" under the Who Is An Insured provision contained in Paragraph A.1. of Section II – Covered Autos Liability Coverage in the Business Auto and Motor Carrier Coverage Forms and Paragraph D.2. of Section I – Covered Autos Coverages of the Auto Dealers Coverage Form.

Named Insured: Devcon Construction, Incorporated
Policy Number: QT6305429B804TIL19
Policy Term: 04/30/2019 - 04/30/2020

COMMERCIAL INLAND MARINE

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

BLANKET LOSS PAYEES

This endorsement modifies insurance provided under the IM PAK COVERAGE FORM.

The following is added to Section E – ADDITIONAL COVERAGE CONDITIONS:

Loss Payable Provision

In the event of a Covered Cause of Loss to Covered Property in which both you and a Loss Payee share an insurable interest, we will:

a. Adjust the loss or damage with you; and

b. Pay any claim for loss or damage jointly to you and the Loss Payee as your interests may appear.

This endorsement applies to all Covered Property for which a Loss Payee is on file with us or your insurance agent or insurance broker.



CUPERTINO
 10300 TORRE AVE
 CUPERTINO, CA 95014
 Telephone: Cupertino, CA 95014

Receipt No.: **262903**
 Receipt Date: **11/13/2019**

RECEIPT

RECORD & PAYER INFORMATION

Record ID: PW-2019-0197
 Record Type: Encroachment Permit *extension 10/28/19 - 11/22/19*
 Property Address: 10123 N WOLFE RD, CUPERTINO, CA 95014
 Description of Work: Temporary sidewalk closure at 10123 N Wolfe Rd. for building demolition purposes.
 Payer: Ferma Corp
 Applicant: Liz Galvez
 CUPERTINO, CA

PAYMENT DETAIL

Date	Payment Method	Reference	Cashier	Comments	Amount
11/13/2019	Check	073038	STEVEP		\$2,351.00

FEE DETAIL

Fee Description	Invoice #	Quantity	Fee Amount	Current Paid
PW Miscellaneous	48822	2,351.00	\$2,351.00	\$2,351.00
			<u>\$2,351.00</u>	<u>\$2,351.00</u>

FERMA CORPORATION

073122

VENDOR NO.	VENDOR NAME	CHECK NUMBER
3507	CITY OF CUPERTINO	73122

Trans Record	Reference	Date	Description	Gross Amount	Discount	Retainage	Previous	Balance	Net Amount	
1119 137	11/18/19	11/18/19	PW-2019-0197 permit 11/23-12	1,176.00	0.00	0.00	0.00	0.00	1,176.00	
				Vendor No.	Gross Amount	Discount	Retainage	Previous	Balance	Net Amount
				3507	1,176.00	0.00	0.00	0.00	0.00	1,176.00

BGP-701 VIEWPOINT BUSINESS FORMS (800) 825-8649 T3873

FOR SECURITY PURPOSES, THE BORDER OF THIS DOCUMENT CONTAINS MICROPRINTING

FERMA CORPORATION
 6639 SMITH AVENUE
 NEWARK, CA 94560
 650-961-2742

COMERICA BANK
 LOS ALTOS BRANCH

90-3752/1211

073122

DATE
 11/18/19

CHECK NO.
 73122

AMOUNT
 \$1,176.00

One thousand one hundred seventy-six and xx / 100 Dollars

PAY
 TO THE
 ORDER
 OF

CITY OF CUPERTINO
 10300 TORRE AVENUE
 CUPERTINO CA 95014

NON-NEGOTIABLE
Non-Negotiable

FACE OF DOCUMENT IS A COLORED BACKGROUND ON WHITE PAPER

Paul Hansen

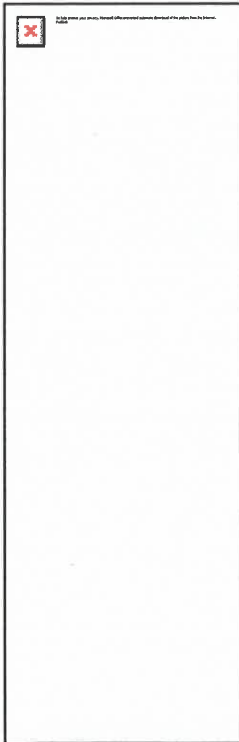
From: Stacii Schneider <sschneider@fermacorp.com>
Sent: Tuesday, November 19, 2019 10:38 AM
To: Valentin Pena
Subject: FW: FedEx Shipment 777016345220 Notification

Stacii Schneider
Controller



6639 Smith Ave.
Newark, CA 94560
Phone: 650-961-2742 Ext. 3052
Fax: 650-968-3945
Email: sschneider@fermacorp.com

From: TrackingUpdates@fedex.com [mailto:TrackingUpdates@fedex.com]
Sent: Monday, November 18, 2019 2:11 PM
To: Stacii Schneider
Subject: FedEx Shipment 777016345220 Notification



This shipment is scheduled to be sent on 11/18/2019.

The delivery date may be updated when FedEx receives the package.

See "Preparing for Delivery" for helpful tips

Tracking # 777016345220

Anticipated ship date:
Mon, 11/18/2019

Stacii Schneider
Ferma Corporation
NEWARK, CA 94560
US



Initiated

Estimated delivery date:
Tue, 11/19/2019 by 3:00 pm

Steve Pagan
City of Cupertino
10300 Torre Avenue
CUPERTINO, CA 95014
US

Shipment Facts

Tracking number: [777016345220](#)

Service type: FedEx Standard
Overnight®

Packaging type: FedEx® Envelope

Number of pieces: 1

Weight: 0.00 lb.


Special handling/Services: Deliver Weekday

Preparing for Delivery

To help ensure successful delivery of your shipment, please review the below.

Won't be in?

You may be able to hold your delivery at a convenient FedEx World Service Center or FedEx Office location for pick up. Track your shipment to determine Hold at FedEx location availability.

 Please do not respond to this message. This email was sent from an unattended mailbox. This report was generated at approximately 4:11 PM CST on 11/18/2019.

All weights are estimated.

The shipment is scheduled for delivery on or before the scheduled delivery displayed above. FedEx does not determine money-back guarantee or delay claim requests based on the scheduled delivery. Please see the FedEx Service Guide for terms and conditions of service, including the FedEx Money-Back Guarantee, or contact your FedEx customer support representative.

To track the latest status of your shipment, click on the tracking number above.

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Thank you for your business.

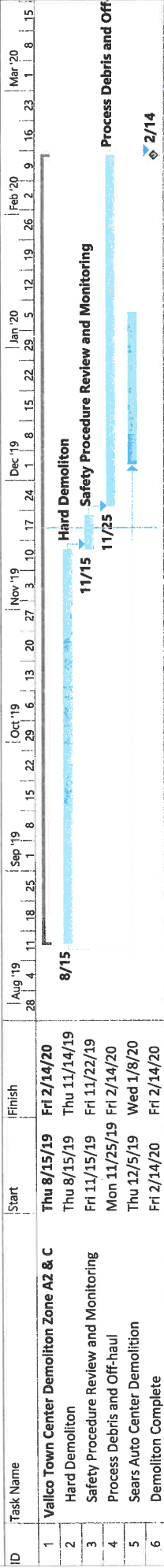
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VALLCO TOWN CENTER

Demolition Zone A2 & C

Update 11/19/2019

ID	Task Name	Start	Finish
1	Vallco Town Center Demolition Zone A2 & C	Thu 8/15/19	Fri 2/14/20
2	Hard Demolition	Thu 8/15/19	Thu 11/14/19
3	Safety Procedure Review and Monitoring	Fri 11/15/19	Fri 11/22/19
4	Process Debris and Off-haul	Mon 11/25/19	Fri 2/14/20
5	Sears Auto Center Demolition	Thu 12/5/19	Wed 1/8/20
6	Demolition Complete	Fri 2/14/20	Fri 2/14/20



Project: Zone A2 & C Demo Sch
Date: Wed 11/20/19

- Task
- Split
- Milestone
- Summary
- Project Summary
- Inactive Task
- Inactive Milestone
- Inactive Summary
- Manual Task
- Duration-only
- Manual Summary Rollup
- Manual Summary
- Start-only
- Finish-only
- External Tasks
- External Milestone
- Deadline
- Progress
- Manual Progress

www.dci-engineers.com
Washington
Oregon
California
Texas
Alaska
Colorado
Montana

November 19, 2019

Nandy Kumar
Sand Hill Properties
965 Page Mill Road
Palo Alto, CA 94304

**Re: Wolfe Road Pedestrian Walkway
Pre-Demolition Review
Vallco Redevelopment
Cupertino, California**

Dear Nandy,

Prior to demolition operations, DCI Engineers (DCI) reviewed the existing pedestrian walkway spanning over Wolfe Road. As indicated in our response to the City of Cupertino's A2 Demolition Plan Review comments dated 11/15/18, our investigation concluded that the walkway was designed as a stand-alone element. Removal of the adjacent mall structures does not adversely impact the walkway's stability.

If there are any further questions or concerns related to this matter, please feel free to contact us.

Sincerely,
DCI Engineers



Jeff D. Brink, P.E., S.E., LEED AP
Principal





November 19, 2019

Nandy Kumar
Sand Hill Properties
965 Page Mill Road
Palo Alto, CA 94304

**Re: Wolfe Road Pedestrian Walkway
Additional Review
Vallco Redevelopment
Cupertino, California**

Dear Nandy,

DCI Engineers (DCI) has conducted additional review of the existing pedestrian walkway spanning over Wolfe Road. Our investigation validates our earlier studies which determined that the walkway was designed as a stand-alone element. Removal of the adjacent west side mall structures did not adversely impact the walkway's stability. Similarly, removal of the adjacent east side mall structures will not adversely impact the walkway's stability.

If there are any further questions or concerns related to this matter, please feel free to contact us.

Sincerely,
DCI Engineers



Jeff D. Brink, P.E., S.E., LEED AP
Principal





EAST BAY COMMERCIAL
32970 ALVARADO NILES ROAD
#708
UNION CITY, CA 94587
(800) 837-6464

July 15, 2019

RE: Vallco Shopping Mall Commercial General Pest Control
Master Agreement #: i88116-000634256

To Whom It May Concern:

Terminix has been servicing Vallco Shopping Mall for several years under Agreement #: i88116-000634256. The entire West Side of Vallco Shopping mall is rodent free and has been for quite some time.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul Linn", with a large, stylized initial "P" and a period at the end.

Paul Linn
Service Technician

Service Areas—Activity and Conditions Observed

This IPM report details where pests were found in and around the facility. The report also lists those steps you can take to help limit or minimize pest invasions. For each of the areas listed below, numbers represent the type of pests found in the area, and letters represent any conditions present that may be contributing to a current, or possibly a future, pest infestation.

Interior Areas	Pests	Conditions	Food Areas	Pests	Conditions
<input type="checkbox"/> Offices	_____	_____	<input type="checkbox"/> Dining Area	_____	_____
<input type="checkbox"/> Lobby/Public Areas	_____	_____	<input type="checkbox"/> Stove/Oven Line	_____	_____
<input type="checkbox"/> Entryways	_____	_____	<input type="checkbox"/> Food Storeroom	_____	_____
<input checked="" type="checkbox"/> Rest/Locker Rooms	_____	_____	<input type="checkbox"/> Dishwashing Area	_____	_____
<input type="checkbox"/> Janitor Closets	_____	_____	<input type="checkbox"/> Deli/Bakery	_____	_____
<input type="checkbox"/> Laundry	_____	_____	<input type="checkbox"/> Processing Area	_____	_____
<input type="checkbox"/> Boiler/Furnace Room	_____	_____	<input type="checkbox"/> Packaging Area	_____	_____
<input type="checkbox"/> Storage Utility	_____	_____	<input type="checkbox"/> Produce Area	_____	_____
<input type="checkbox"/> Warehouse	_____	_____	<input type="checkbox"/> Meat/Seafood Shop	_____	_____
<input type="checkbox"/> Basement	_____	_____	Exterior Areas		
<input type="checkbox"/> Patient Rooms	_____	_____	<input checked="" type="checkbox"/> Exterior Walls—North	_____	_____
<input type="checkbox"/> ICU	_____	_____	<input checked="" type="checkbox"/> Exterior Walls—South	_____	_____
<input type="checkbox"/> Linen Storage Rooms	_____	_____	<input checked="" type="checkbox"/> Exterior Walls—East	_____	_____
<input type="checkbox"/> Kitchenettes	_____	_____	<input checked="" type="checkbox"/> Exterior Walls—West	_____	_____
<input type="checkbox"/> Nurses Stations	_____	_____	<input checked="" type="checkbox"/> Loading Dock	_____	_____
<input type="checkbox"/> Guest Rooms	_____	_____	<input checked="" type="checkbox"/> Dumpster	_____	_____
<input type="checkbox"/> Banquet/Meeting Rooms	_____	_____	<input type="checkbox"/> Exterior Storage Rooms	_____	_____
<input type="checkbox"/> Display Aisles # _____	_____	_____	<input type="checkbox"/> Roof	_____	_____
<input type="checkbox"/> Other _____	_____	_____	<input type="checkbox"/> Other _____	_____	_____
<input type="checkbox"/> Other _____	_____	_____	<input type="checkbox"/> Other _____	_____	_____

No rodents activity

1. German Cockroaches 2. American Cockroaches 3. Oriental Cockroaches 4. Outdoor Cockroaches 5. Silverfish	6. Pharaoh Ants 7. Pavement Ants 8. Fire Ants 9. Argentine Ants 10. _____ Ants	11. Occasional Invaders 12. Hunting Spiders 13. Web-Building Spiders 14. Brown Recluse Spiders 15. Black Widow Spiders	16. Rats 17. Mice 18. Stored Product Pests 19. Other _____ 20. Other _____
A. Drain Clogged/Dirty B. Food Debris Under Table C. Food Debris On Shelf D. Food Debris Under Appliance E. Wet Organic Matter in Cracks F. Grease Deposits on Floor G. Grease Deposits on Equipment H. Soiled Dishes Left Over Night	I. Paper/Litter J. Water leak K. Mops Improperly Stored L. Trash Containers Need Cleaning M. Heavy Dust/Dirt Deposits N. Numerous Cobwebs Present O. Repair Floor/Tiles/Wall/Ceiling P. Seal Holes/Cracks in Walls	Q. Poor Storage Practices R. Repair Water Damaged Wood S. Seal Exterior Cracks/Holes T. Trim Back Tree/Shrub Branches U. Remove Piles of Debris V. Cut Tall Grass/Weeds W. Improve Outside Drainage X. Install Gravel Foundation Barrier	Y. Move Dumpster Away From Bldg. Z. Dumpster Area Needs Cleaned AA. Mercury Vapor Lights Outside BB. Keep Doors Closed CC. Repair Door/Screen DD. Replace Door/Weatherstripping EE. Poor Outdoor Storage Practices FF. Other _____

Comments Finding
The entire west side of Valco Shopping Center has no rodents activity