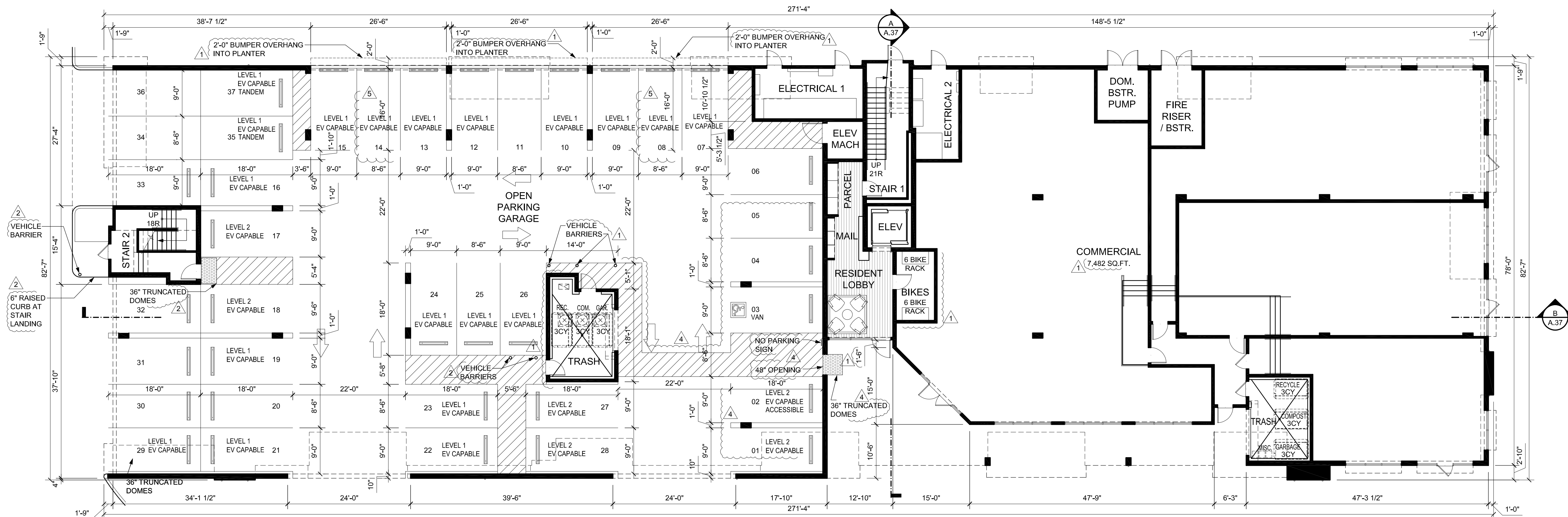




MIXED USE - 2ND FLOOR PLAN

SCALE: 3/32" = 1'-0"



MIXED USE - 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0"

BUILDING AREA	
BUILDING 1 AREA	
APARTMENT LOBBY (R-2):	839 SQ.FT.
TRASH / UTILITY (S-2):	1,185 SQ.FT.
COMMERCIAL (B):	7,482 SQ.FT.
COVERED ENTRY:	1,095 SQ.FT.
PARKING GARAGE (S-2):	10,812 SQ.FT.
TOTAL BUILDING 1:	21,413 SQ.FT.
BUILDING 2 AREA	
2ND FLOOR:	19,634 SQ.FT.
2ND FLOOR DECKS:	1,749 SQ.FT.
TOTAL 2ND FLOOR:	21,382 SQ.FT.
3RD FLOOR:	19,713 SQ.FT.
3RD FLOOR DECKS:	1,598 SQ.FT.
TOTAL 3RD FLOOR:	21,311 SQ.FT.
TOTAL BUILDING 2:	42,693 SQ.FT.

SCALE 3/32" = 1'-0"

6TH SUBMITTAL	08-26-2022	5/2
5TH SUBMITTAL	07-08-2022	4
4TH SUBMITTAL	03-29-2022	3
3RD SUBMITTAL	01-26-2022	2
2ND SUBMITTAL	10-22-2021	1
1ST SUBMITTAL	03-16-2021	0
JOB NO. 1138.009		
5865 Owens Drive		
Pleasanton, CA 94588		
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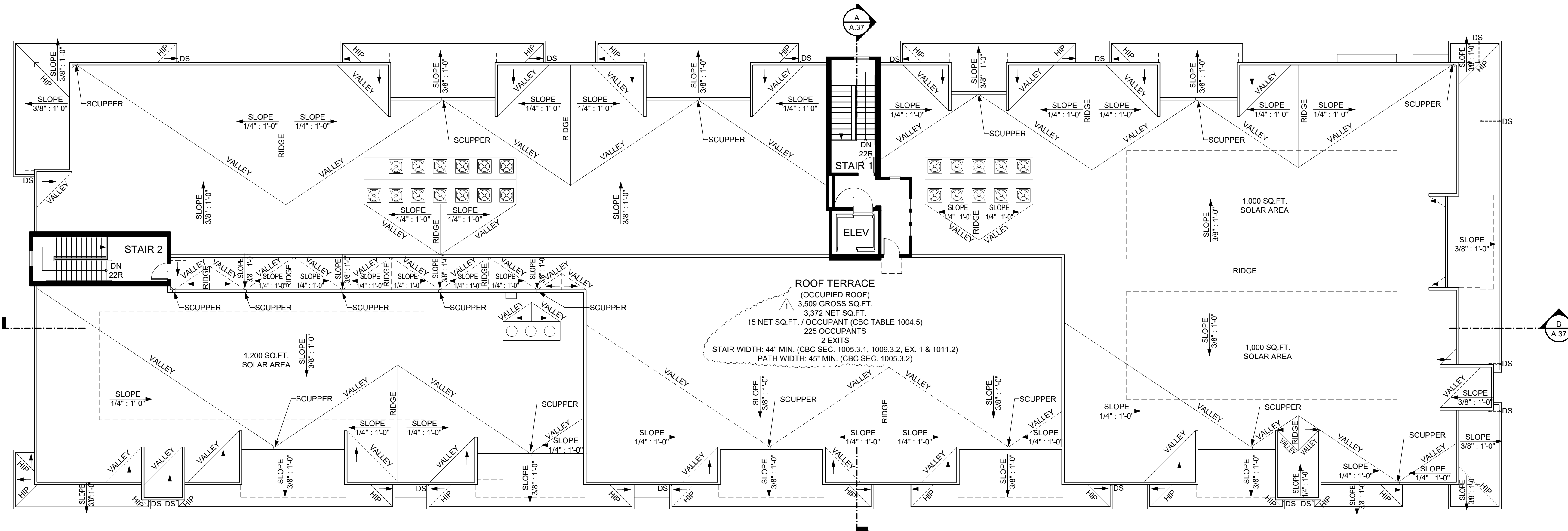
1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



MIXED USE - 1ST & 2ND FLOOR PLANS



A.35



MIXED USE - ROOF PLAN
 SCALE: 3/32" = 1'-0"



MIXED USE - 3RD FLOOR PLAN
 SCALE: 3/32" = 1'-0"



1655 S DE ANZA BOULEVARD
 CUPERTINO, CALIFORNIA

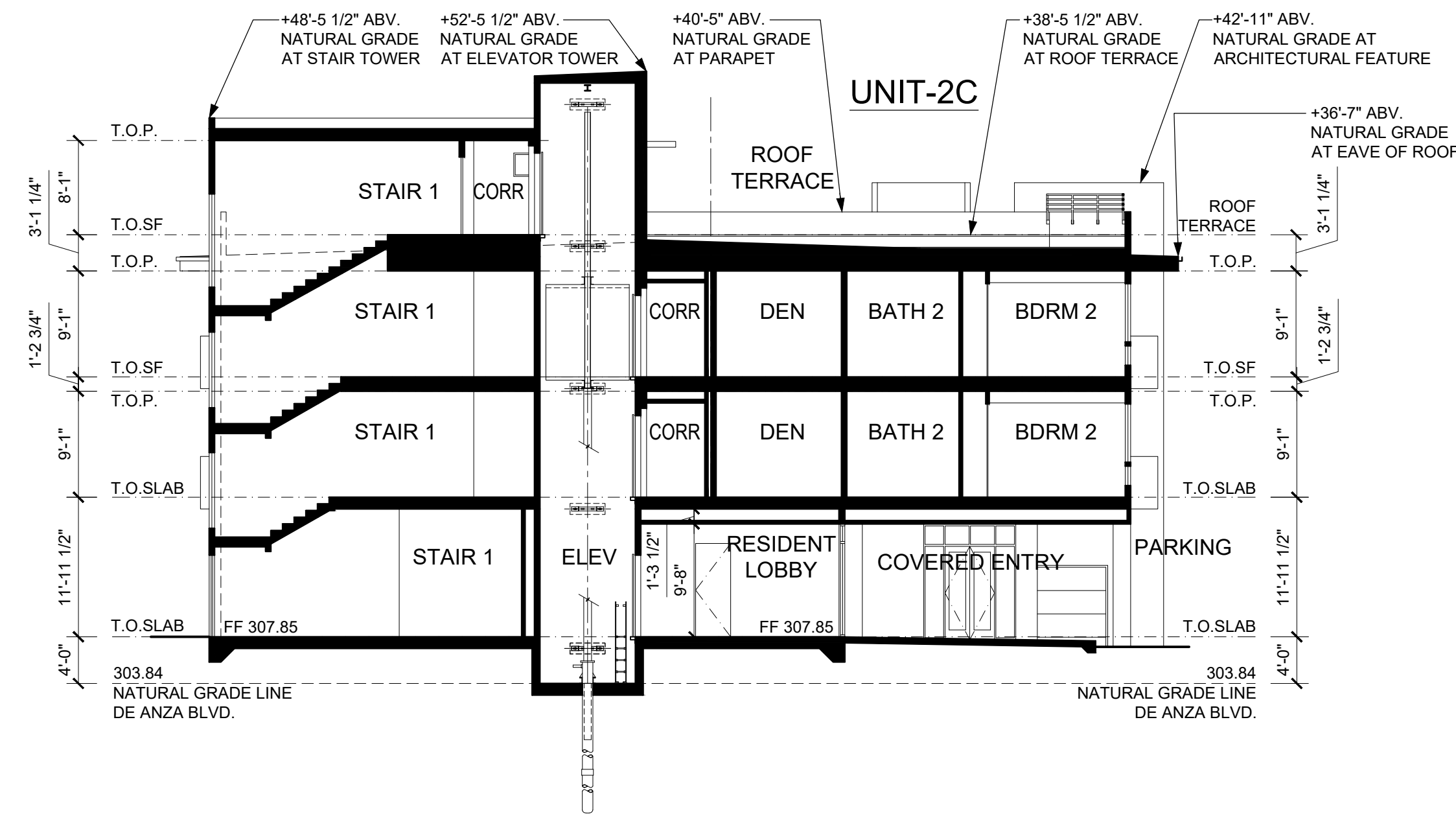


MIXED USE - 3RD FLOOR PLAN & ROOF PLAN

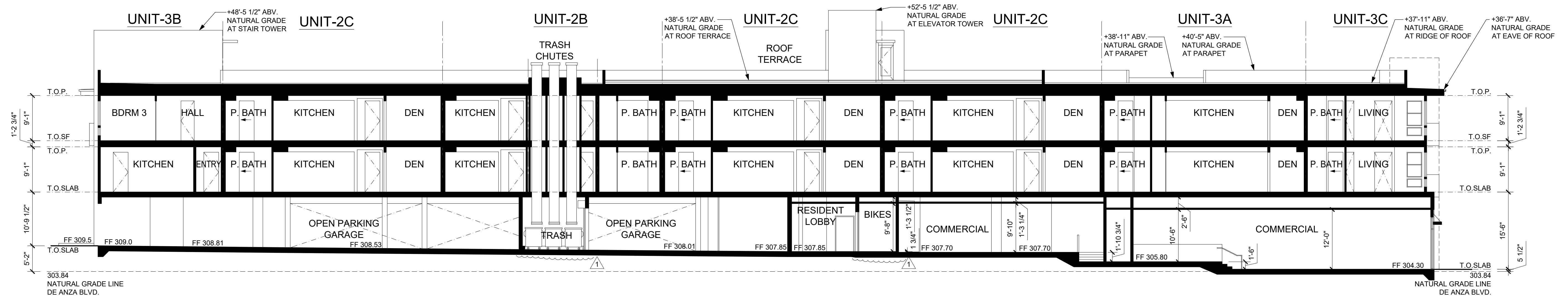


3RD SUBMITTAL 01-26-2022
 2ND SUBMITTAL 10-22-2021
 1ST SUBMITTAL 03-16-2021
 JOB NO. 1138.009

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A MIXED USE - BUILDING SECTION A
SCALE: 3/32" = 1'-0"



B MIXED USE - BUILDING SECTION B
SCALE: 3/32" = 1'-0"



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CUPERTINO, CALIFORNIA

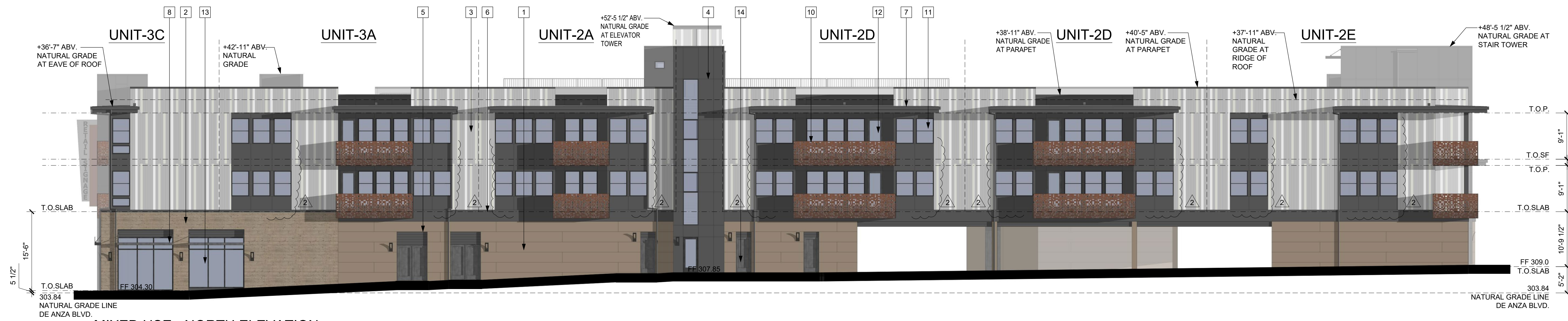


MIXED USE - BUILDING SECTIONS

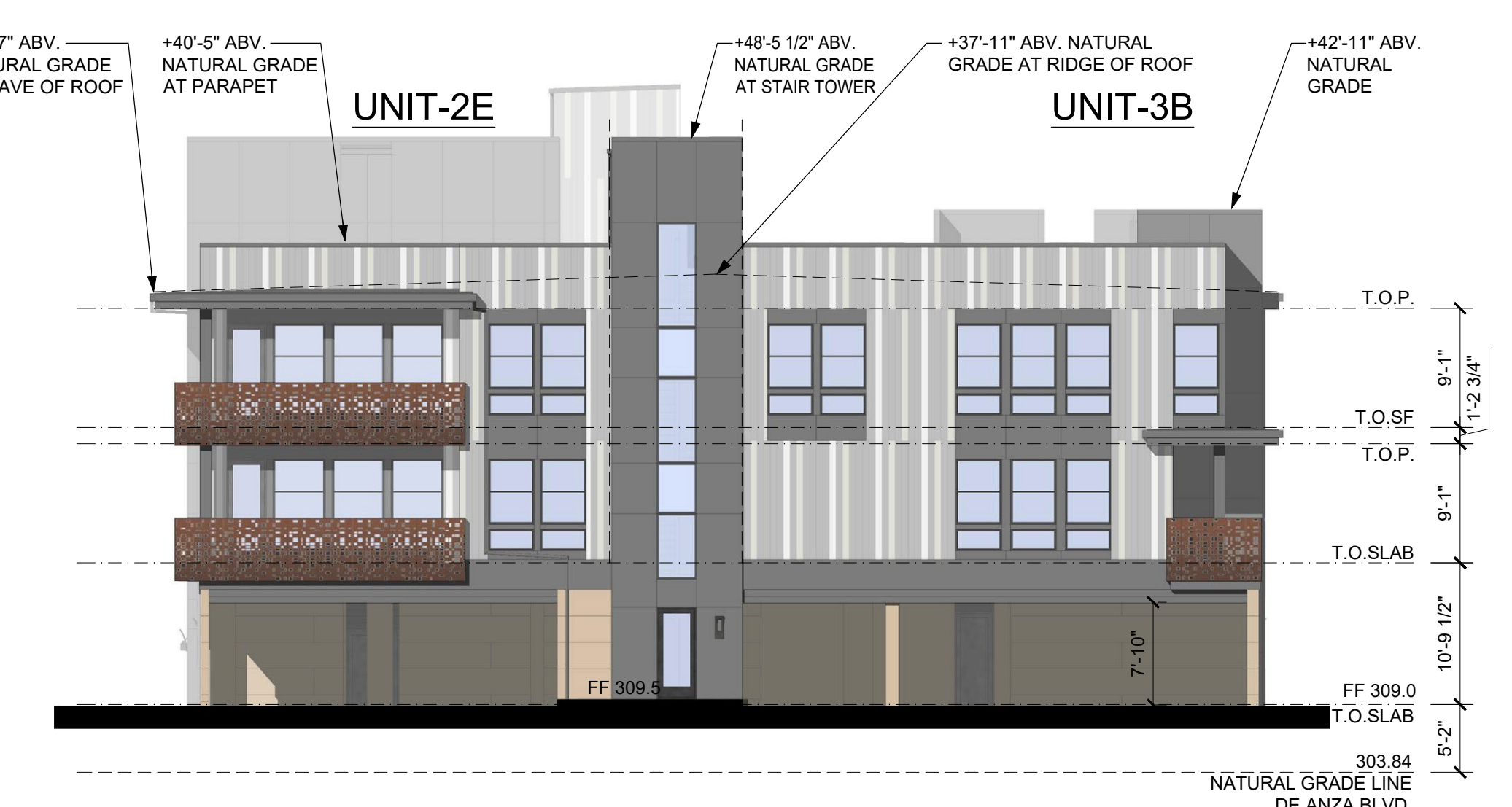


3RD SUBMITTAL 01-26-2022
2ND SUBMITTAL 10-22-2021
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

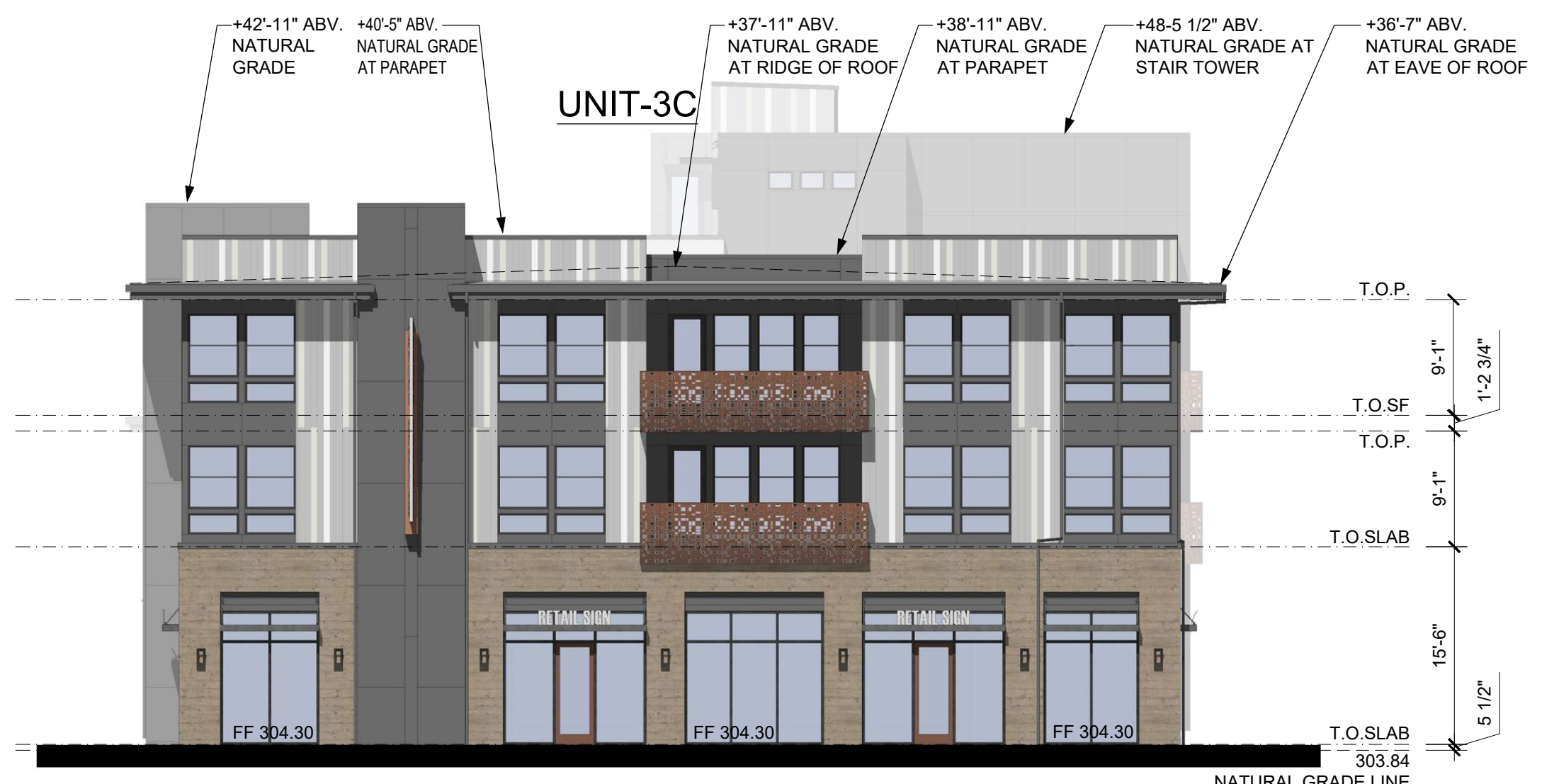
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MIXED USE - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



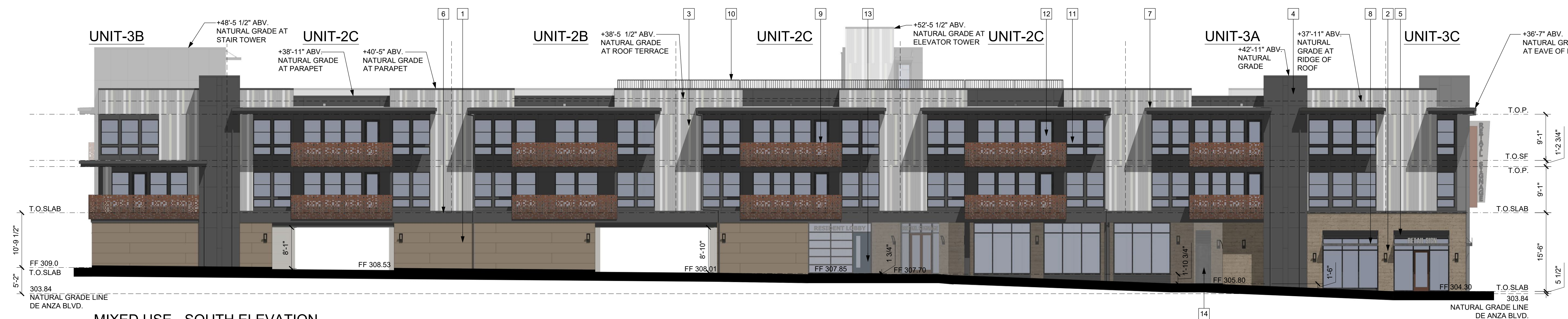
MIXED USE - WEST ELEVATION
SCALE: 3/32" = 1'-0"



MIXED USE - EAST ELEVATION
SCALE: 3/32" = 1'-0"

ELEVATION KEYNOTES	
1.	STUCCO FINISH w/ HORIZONTAL JOINTS 24" O.C.
2.	BOARD FORM STONE VENEER
3.	LONGBOARD VERTICAL SIDING
4.	STUCCO FINISH w/ VERTICAL JOINTS
5.	STUCCO FINISH w/ HORIZONTAL JOINTS 6" O.C.
6.	STUCCO TRIM BAND
7.	AWNING w/ FASCIA TRIM
8.	METAL AWNING
9.	BOK MODERN GUARDRAIL
10.	METAL GUARDRAIL
11.	VINYL WINDOWS
12.	VINYL PATIO DOORS
13.	ALUMINUM STOREFRONT
14.	METAL DOOR

NOTE: PROJECT SIGNS WILL BE DESIGNED AND APPROVED UNDER A SEPARATE SIGN PERMIT APPLICATION.
SIGNS SHOWN ON BUILDING ELEVATIONS ARE PLACEHOLDERS AND DO NOT REPRESENT FINAL SIGN DESIGNS.



MIXED USE - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



MIXED USE - ELEVATIONS

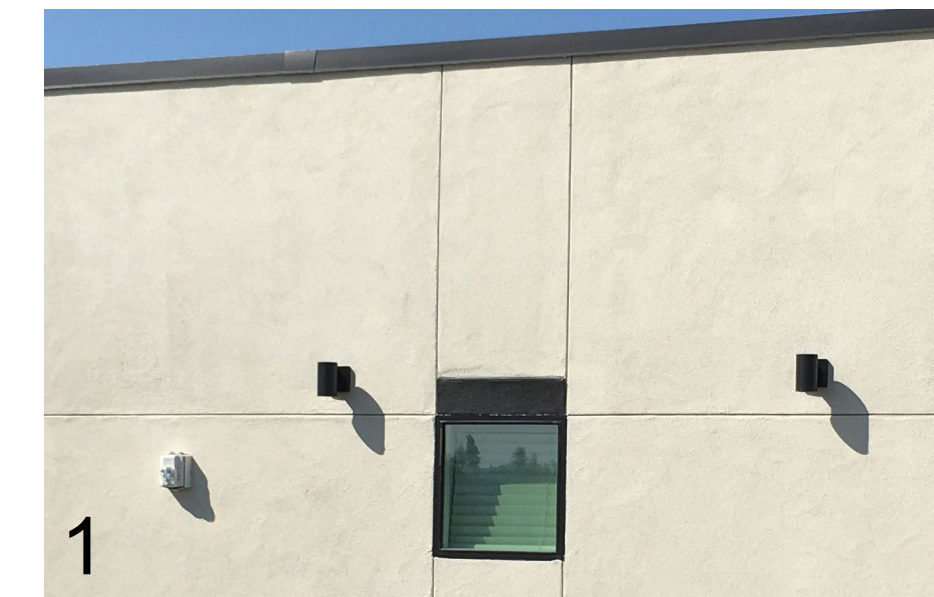


3RD SUBMITTAL 01-26-2022
2ND SUBMITTAL 10-22-2021
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

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MATERIAL AND FINISHES

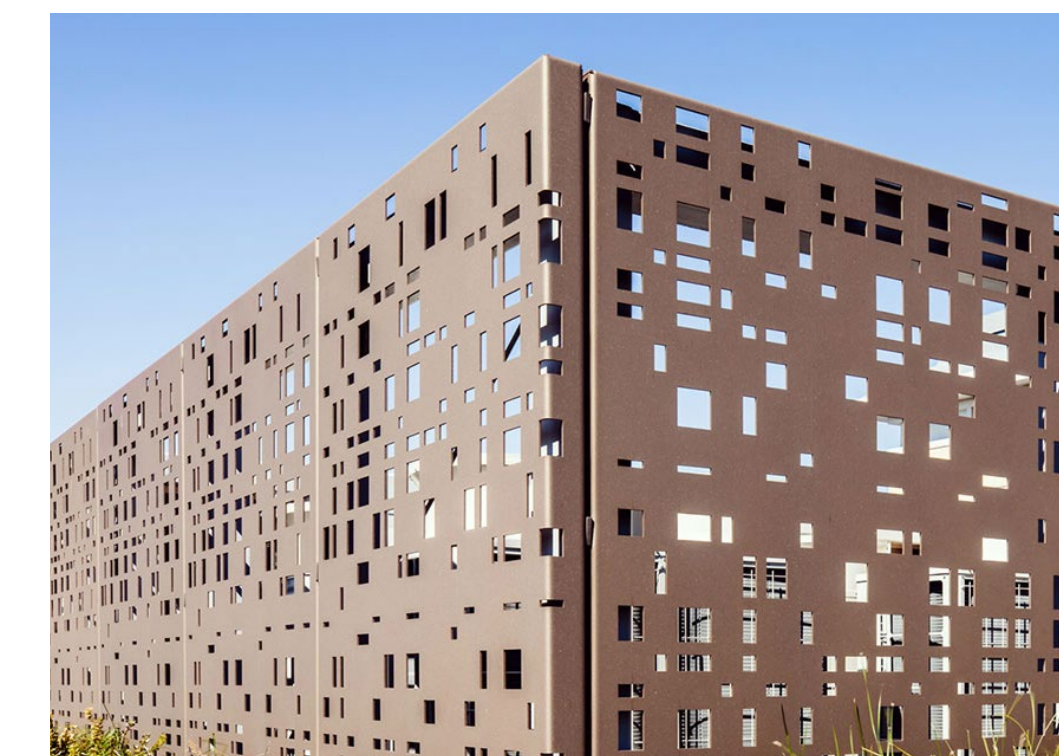
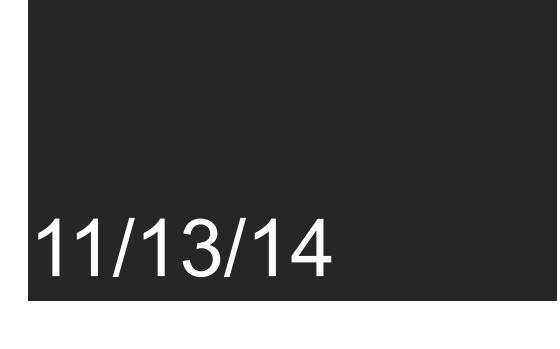
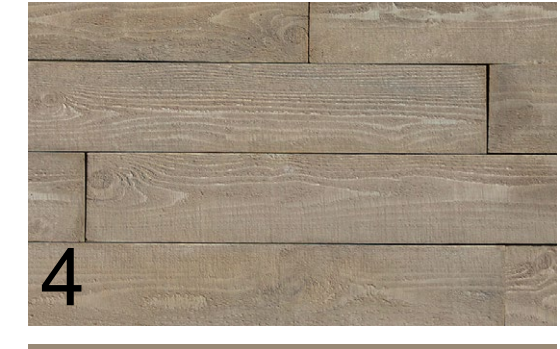
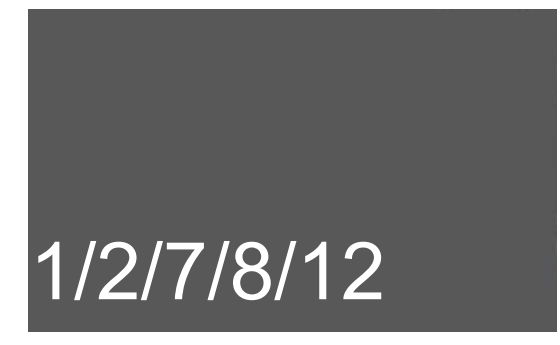
1. FINE SAND FINISH STUCCO w/ VERTICAL JOINTS - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 2. FINE SAND FINISH STUCCO w/ 6" HORIZONTAL JOINTS - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 3. VERTICAL SIDING - LONG BOARD - 6" SIDING - 3 CUSTOM COLOR MIX
 4. ADHERED STONE - CREATIVE MINES - CRAFT BOARD FORM - BARNWOOD
 5. FINE SAND FINISH STUCCO w/ 24" HORIZONTAL JOINTS - SHERWIN WILLIAMS - CURIO GRAY - SW 0024
 6. METAL GUARDRAIL w/ VERTICAL PICKETS - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 7. METAL GUARDRAIL w/ VERTICAL PICKETS - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 8. TRIM - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 9. METAL AWNING - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 10. WOOD FRAMED AWNING w/ LONG BOARD SOFFIT - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 11. ALUMINUM STOREFRONT - BRONZE
 12. HOLLOW METAL DOOR - SHERWIN WILLIAMS - PEPPERCORN - SW 7674
 13. WINDOW - VINYL - BRONZE
 14. PATIO DOOR - VINYL - BRONZE
 15. BIRD SAFE WINDOW FILM - SOLYX - SX-BSFD FROST DOT BIRD SAFETY FILM
- APPLIED TO ALL GLAZING SO THAT NO SURFACE AREA OF A BUILDING'S TOTAL EXTERIOR FACADE SHALL HAVE UNTREATED GLAZING.
WINDOW FILM TO BE 1/4" FROSTED DOTS WITH 2" SPACING.



3



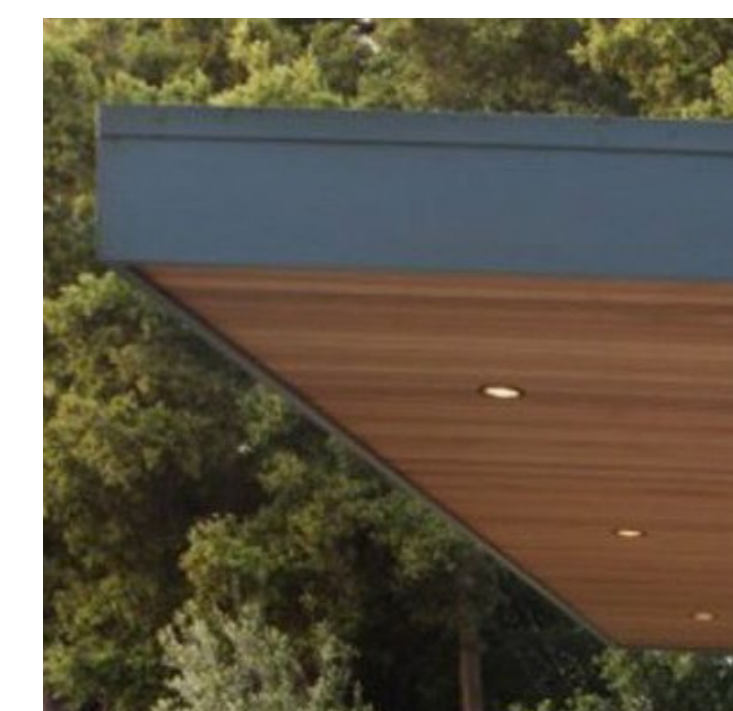
3



6



7



10



9



11

1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



MIXED USE - MATERIALS AND FINISHES



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2ND SUBMITTAL 10-22-2021
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

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1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



MIXED USE - PERSPECTIVE VIEW



3RD SUBMITTAL 01-26-2022 ²/₁
2ND SUBMITTAL 10-22-2021 ¹/₁
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

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A.40



1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



MIXED USE - PERSPECTIVE VIEW



3RD SUBMITTAL 01-26-2022 ²/₁
2ND SUBMITTAL 10-22-2021 ¹/₁
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

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A.41



1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



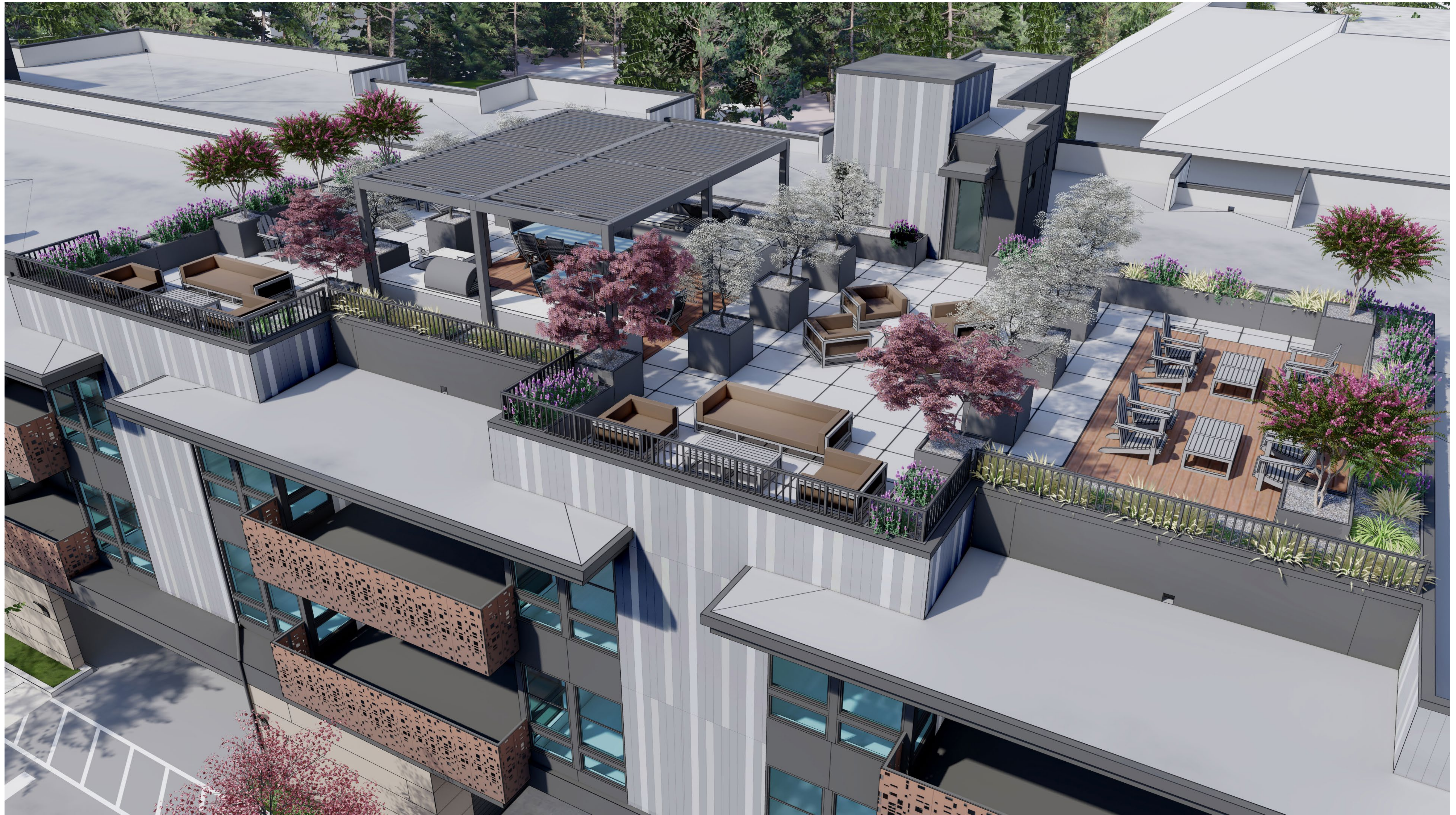
MIXED USE - PERSPECTIVE VIEW



3RD SUBMITTAL 01-26-2022 ²/₁
2ND SUBMITTAL 10-22-2021 ¹/₁
1ST SUBMITTAL 03-16-2021
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A.42



1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA



MIXED USE - PERSPECTIVE VIEW



3RD SUBMITTAL 01-26-2022 ²/₁
2ND SUBMITTAL 10-22-2021 ¹/₁
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

5865 Owens Drive
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925-251-7200

A.43

PLAN REVIEW COMMENTS

Plans and Scope of Review:

This project shall comply with the following:

The California Fire (CFC) & Building (CBC) Code, 2019 edition, as adopted by the City of Cupertino Municipal Code (CMC) and California Code of Regulations (CCR).

The scope of this project includes the following:

Proposed new townhouse development comprised of one 8634 SF three-story fourplex, one 14727 SF three-story sevenplex and one 63791 three-story mixed use structure with 23 residential units, commercial space and parking garage.

Plans Status:

Plans are **NOT APPROVED**. Revise and resubmit drawings and provide a response letter addressing comments on this plan review.

Plan Review Comments:

1. **Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.**

2. **Fire Sprinklers Required:** (As Noted on Sheet A.2) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted

City	PLANS	SPECS	NEW	RMDL	AS	OCCUPANCY	CONST. TYPE	ApplicantName	DATE	PAGE
CUP	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A/R2/S	IA/VA/VB	Cchan / Ronsdale	07/08/2021	1 OF 5
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
3	63791		Commercial Construction	Design Review						
NAME OF PROJECT	LOCATION									
TOWN HOMES - DEVELOPMENT PERMIT	1655 S. De Anza Blvd Cupertino									
TABULAR FIRE FLOW	REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI	BY							
3250	75%	1500	Ip, Kenny							

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PLAN REVIEW COMMENTS

code official. **Locks.** An approved Knox Lock shall be installed on gates or similar barriers when required by the fire code official. Key box maintenance. The operator of the building shall immediately notify the fire code official and provide the new key when a lock is changed or re-keyed. The key to such lock shall be secured in the key box. [CFC Sec. 506]. **Specify if the private yard gates will be locked. If so, provide Knox for them. Knox required for mixed use building.**

14. **Ground Ladder Access:** Ground-ladder rescue from second and third floor rooms with egress windows, shall be made possible for fire department operations. With the climbing angle of seventy-five degrees maintained, an approximate walkway width along either side of the building shall be no less than seven feet clear. Landscaping shall not be allowed to interfere with the required access. CFC Sec. 503 and 1030 NFPA 1932 Sec. 5.1.8 through 5.1.9.2. Ladder access (one for each emergency egress window) of an all-weather supportive surface along with an approved access walkway leading from the fire apparatus access road to them, shall be provided.

15. **Required Secondary Fire Dept. Access:** Commercial and Industrial Developments 1. Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have a least two means of fire apparatus access for each structure. 2. Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5780 mm) shall be provided with two separate and approved fire apparatus access roads. Exception: Projects having a gross building area of up to 124,000 square feet (11520 mm) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems. Multi-Family Residential Developments (R-1 & R-2 occupancies) 1. Multi-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. CFC Sec. Chp. 5 as adopted and amended by CUPMC. **Access easement to the north shall be provided.**

16. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

City	PLANS	SPECS	NEW	RMDL	AS	OCCUPANCY	CONST. TYPE	ApplicantName	DATE	PAGE
CUP	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A/R2/S	IA/VA/VB	Cchan / Ronsdale	07/08/2021	4 OF 5
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
3	63791		Commercial Construction	Design Review						
NAME OF PROJECT	LOCATION									
TOWN HOMES - DEVELOPMENT PERMIT	1655 S. De Anza Blvd Cupertino									
TABULAR FIRE FLOW	REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI	BY							
3250	75%	1500	Ip, Kenny							

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PLAN REVIEW COMMENTS

3. **Fire Alarm Requirements:** Refer to CFC Sec. 907 and the currently adopted edition of NFPA 72. Submit shop drawings (3 sets) and a permit application to the SCCFD for approval before installing or altering any system. Call (408) 378-4010 for more information. **Fire alarm required for mixed use structure.**

4. **Public Fire Hydrant Required:** (As Noted on Sheet C9.0) Provide a public fire hydrant at a final location to be determined jointly by the Fire Department and San Jose Water Company. Maximum distance of 500 feet from the building frontage and a maximum of 100 feet from the FDC, with a minimum hydrant flow of 1625 GPM @ 20 psi residual. Fire hydrants shall be provided along required fire apparatus access roads and adjacent public streets. CFC Sec. 507, and Appendix B and associated Tables, and Appendix C. Note that a separate hydrant plan will be required as a deferred submittal.

5. **Required Fire Flow:** The fire flow for this project is 3250 GPM at 20 psi residual pressure. If an automatic fire sprinkler system will be installed, the fire flow will be reduced by 75%, establishing a required adjusted fire flow of 1500 GPM at 20 psi residual pressure. Note: The minimum required number and spacing of the hydrants shall be in accordance with CFC Table C102.1.

Provide documentation from a local water purveyor confirming the required fire flow of 1500 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required.

6. **Standpipes Required:** Standpipe systems shall be provided in new buildings and structures in accordance with this section. Fire hose threads used in connection with standpipe systems shall be approved and shall be compatible with fire department hose threads. The location of fire department hose connections shall be approved. Standpipes shall be manual wet type. In buildings used for high-piled combustible storage, fire hose protection shall be in accordance with Chapter 32. **Installation standard.** Standpipe systems shall be installed in accordance with this section and NFPA 14 as amended in Chapter 47. CFC Sec. 905.

7. **Fire Department Connection:** The fire department connection (FDC) shall be installed at the street on the street address side of the building. It shall be located within 100 feet of a public fire hydrant and within ten (10) feet of the main PIV (unless otherwise approved by the Chief due to practical difficulties). FDC's shall be equipped with a minimum of two (2), two-and-one-half (2- 1/2") inch national standard threaded inlet couplings. Orientation of the FDC shall be such that hose lines may be readily and conveniently attached to the inlets without interference. FDC's shall be painted safety yellow. [SCCFD, SP-2 Standard].

City	PLANS	SPECS	NEW	RMDL	AS	OCCUPANCY	CONST. TYPE	ApplicantName	DATE	PAGE
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SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
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3250	75%	1500	Ip, Kenny							

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PLAN REVIEW COMMENTS

17. **Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

18. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

19. **Timing of installation:** When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2. Construction documents. Construction documents for proposed fire apparatus access, location of fire lanes, security gates across fire apparatus access and construction documents and hydraulic calculations for fire hydrant systems shall be submitted to the fire department for review and approval prior to construction. CFC Sec. 501.3, 501.4.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

City	PLANS	SPECS	NEW	RMDL	AS	OCCUPANCY	CONST. TYPE	ApplicantName	DATE	PAGE
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PLAN REVIEW COMMENTS

8. **Two-way Communication System:** Two-way communication systems shall be designed and installed in accordance with NFPA 72 (2016 edition), the California Electrical Code (2013 edition), the California Fire Code (2016 edition), the California Building Code (2016 edition), and the city ordinances where two way system is being installed, policies, and standards. Other standards also contain design/installation criteria for specific life safety related equipment. These other standards are referred to in NFPA 72.

9. **Emergency responder radio coverage in new buildings:** All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. CFC Sec. 510.1 as adopted

10. **Buildings and Facilities Access:** (As Noted on Sheet A.6) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1].

11. **Required Aerial Access:** 1. Where required: Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. 2. Width: Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height. 3. Proximity to building: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572) and a maximum of 30 feet (9144mm) from the building, and shall be positioned parallel to one entire side of the building, as approved by the fire code official. SCCFD SD&S A-1. **Aerial access is required for mixed use building.**

12. **Turn Radius (circulating):** The minimum inside turning radius is 20 feet and outside turning radius is 42 feet for required access roadways. Greater radius up to 60 feet may be required where the Fire Department determines that Ladder Truck access is required. Circulating refers to travel along a roadway without dead ends.

13. **Knox Key Boxes/Locks Where Required for Access:** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The Knox Key Box shall be of an approved type and shall contain keys to gain necessary access as required by

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SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
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TABULAR FIRE FLOW	REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI	BY							
3250	75%	1500	Ip, Kenny							

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PLAN REVIEW COMMENTS

1655 S DE ANZA BOULEVARD
 CUPERTINO, CALIFORNIA



SANTA CLARA COUNTY FIRE DEPARTMENT REQUIREMENTS
 REVIEW 1



3RD SUBMITTAL 01-26-2022 ²
 2ND SUBMITTAL 10-22-2021 ¹
 1ST SUBMITTAL 03-16-2021
 JOB NO. 1138.009

5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

¹ A.44

DEVELOPMENTAL REVIEW COMMENTS

REVISED BY CF 01/05/2022

Plans and Scope of Review:
This project shall comply with the following:

The California Fire (CFC) & Building (CBC) Code, 2019 edition, as adopted by the City of Cupertino Municipal Code (CMC) and California Code of Regulations (CCR).

The scope of this project includes the following:

Proposed new townhouse development comprised of one 8,634 SF three-story fourplex, one 14,743 SF three-story sevenplex and one 64,121 SF three-story mixed use structure with 23 residential units, commercial space and parking garage.

Plans Status:

Plans are APPROVED with the following conditions. REVISED BY CF 01/05/2022

Plan Review Comments:

- Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.**
- Fire Sprinklers Required:** (As Noted on Sheet A.2) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted.

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SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION			PROJECT TYPE OR SYSTEM				
3	64121		Commercial Development			Design Review				
NAME OF PROJECT		LOCATION								
TOWN HOMES - DEVELOPMENT PERMIT		1655 S. De Anza Blvd Cupertino								
TABULAR FIRE FLOW	REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI	BY							
3250	50%	1625	Flanagan, Caleb							

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DEVELOPMENTAL REVIEW COMMENTS

- Knox Key Boxes/Locks Where Required for Access:** (As noted on Sheet A-6) Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The Knox Key Box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. **Locks.** An approved Knox Lock shall be installed on gates or similar barriers when required by the fire code official. Key box maintenance. The operator of the building shall immediately notify the fire code official and provide the new key when a lock is changed or re-keyed. The key to such lock shall be secured in the key box. [CFC Sec. 506].
- Ground Ladder Access:** (As shown on Sheet A-6) Ground-ladder rescue from second and third floor rooms with egress windows, shall be made possible for fire department operations. With the climbing angle of seventy-five degrees maintained, an approximate walkway width along either side of the building shall be no less than seven feet clear. Landscaping shall not be allowed to interfere with the required access. CFC Sec. 503 and 1030 NFPA 1932 Sec. 5.1.8 through 5.1.9.2. Ladder access (one for each emergency egress window) of an all-weather supportive surface along with an approved access walkway leading from the fire apparatus access road to them, shall be provided.
- Required Secondary Fire Dept. Access:** (As noted on Sheet C4.0) Commercial and Industrial Developments 1. Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have a least two means of fire apparatus access for each structure. 2. Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5760 mm) shall be provided with two separate and approved fire apparatus access roads. Exception: Projects having a gross building area of up to 124,000 square feet (11520 mm) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems. Multi-Family Residential Developments (R-1 & R-2 occupancies) 1. Multi-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. CFC Sec. Chp. 5 as adopted and amended by CUPMC. Access easement to the north shall be provided. Noted on Sheet C4.0.
- Fire Department (Engine) Driveway Turnaround Required:** Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Maximum grade in any direction shall be 5%. Installations shall conform with Fire Department Standard Details and Specifications D-1. [CFC Section 503.2.5]. Turnaround A fits in the aerial roadway and secondary roadways.

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REVISED BY CF 01/05/2022

- Fire Alarm Requirements:** (As Noted on Sheet A.2) Refer to CFC Sec. 907 and the currently adopted edition of NFPA 72. Submit shop drawings (3 sets) and a permit application to the SCCFD for approval before installing or altering any system. Call (408) 378-4010 for more information.
- Public Fire Hydrant Required:** (As Noted on Sheet C9.0) Provide a public fire hydrant at a final location to be determined jointly by the Fire Department and San Jose Water Company. Maximum distance of 500 feet from the building frontage and a maximum of 100 feet from the FDC, with a minimum hydrant flow of 1625 GPM @ 20 psi residual. Fire hydrants shall be provided along required fire apparatus access roads and adjacent public streets. CFC Sec. 507, and Appendix B and associated Tables, and Appendix C. Proposed new hydrant shown on Sheet C9.0. Note that a separate hydrant plan will be required as a deferred submittal.
- Required Fire Flow:** The highest fire flow for this project is 3,250 GPM at 20 psi residual pressure for the R-3 seven-plex. Since a NFPA 13D fire sprinkler system will be installed, the fire flow will be reduced by 50%, establishing a required adjusted fire flow of 1,625 GPM at 20 psi residual pressure. Note: The minimum required number and spacing of the hydrants shall be in accordance with CFC Table C102.1. Fire flow for the new hydrants shall be provided after installation or through a hydraulic simulation during installation. Fire flow letter submitted with hydrant spotting plan. REVISED BY CF 01/05/2022
- Standpipes Required:** (As noted on Sheet A.2) Standpipe systems shall be provided in new buildings and structures in accordance with this section. Fire hose threads used in connection with standpipe systems shall be approved and shall be compatible with fire department hose threads. The location of fire department hose connections shall be approved. Standpipes shall be manual wet type. In buildings used for high-piled combustible storage, fire hose protection shall be in accordance with Chapter 32. Installation standard. Standpipe systems shall be installed in accordance with this section and NFPA 14 as amended in Chapter 47. CFC Sec. 905.
- Fire Department Connection:** (As shown on Sheet C9.0) The fire department connection (FDC) shall be installed at the street on the street address side of the building. It shall be located within 100 feet of a public fire hydrant and within ten (10) feet of the main PIV (unless otherwise approved by the Chief due to practical difficulties). FDC's shall be equipped with a minimum of two (2), two-and-one-half (2-1/2") inch national standard threaded inlet couplings. Orientation of the FDC shall be such that hose lines may be readily and conveniently attached to the inlets without interference. FDC's shall be painted safety yellow. [SCCFD, SP-2 Standard].

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DEVELOPMENTAL REVIEW COMMENTS

- Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
- Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
- Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
- Timing of installation:** When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2. Construction documents. Construction documents for proposed fire apparatus access, location of fire lanes, security gates across fire apparatus access and construction documents and hydraulic calculations for fire hydrant systems shall be submitted to the fire department for review and approval prior to construction. CFC Sec. 501.3, 501.4. For new hydrants.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1,

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- Two-way Communication System:** (As Noted on Sheet A.2) Two-way communication systems shall be designed and installed in accordance with NFPA 72 (2016 edition), the California Electrical Code (2013 edition), the California Fire Code (2016 edition), the California Building Code (2016 edition), and the city ordinances where two way system is being installed, policies, and standards. Other standards also contain design/installation criteria for specific life safety related equipment. These other standards are referred to in NFPA 72.
- Emergency responder radio coverage in new buildings:** (As Noted on Sheet A.2) All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. CFC Sec. 510.1 as adopted
- Buildings and Facilities Access:** (As Noted on Sheet A.6) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1].
- Required Aerial Access:** 1. Where required: Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. 2. Width: Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height. 3. Proximity to building: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572) and a maximum of 30 feet (9144mm) from the building, and shall be positioned parallel to one entire side of the building, as approved by the fire code official. SCCFD SD&S A-1. REVISED BY CF 01/05/2022
- Turn Radius (circulating):** The minimum inside turning radius is 20 feet and outside turning radius is 42 feet for required access roadways. Greater radius up to 60 feet may be required where the Fire Department determines that Ladder Truck access is required. Circulating refers to travel along a roadway without dead ends.

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1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA

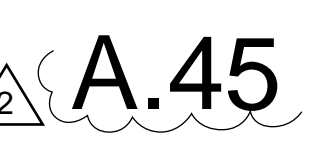


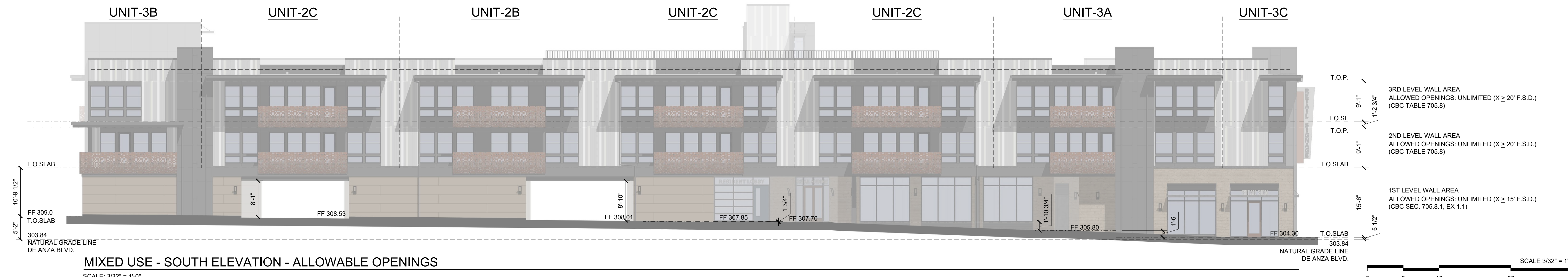
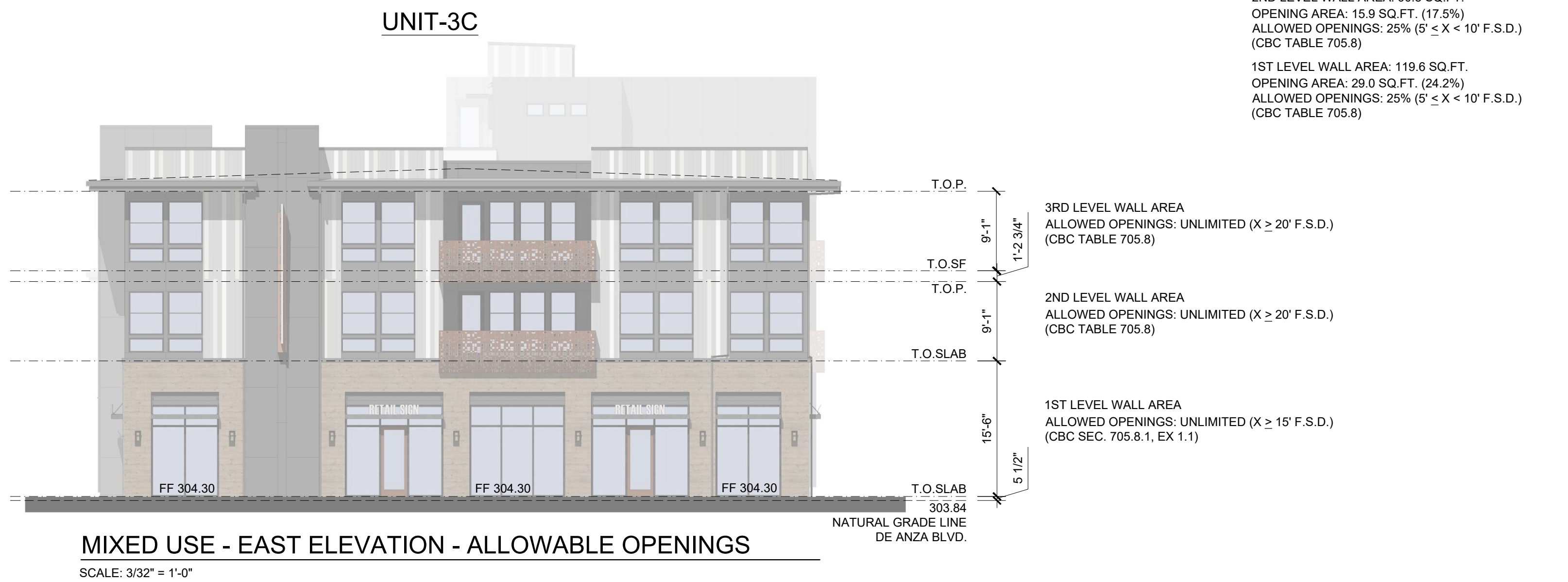
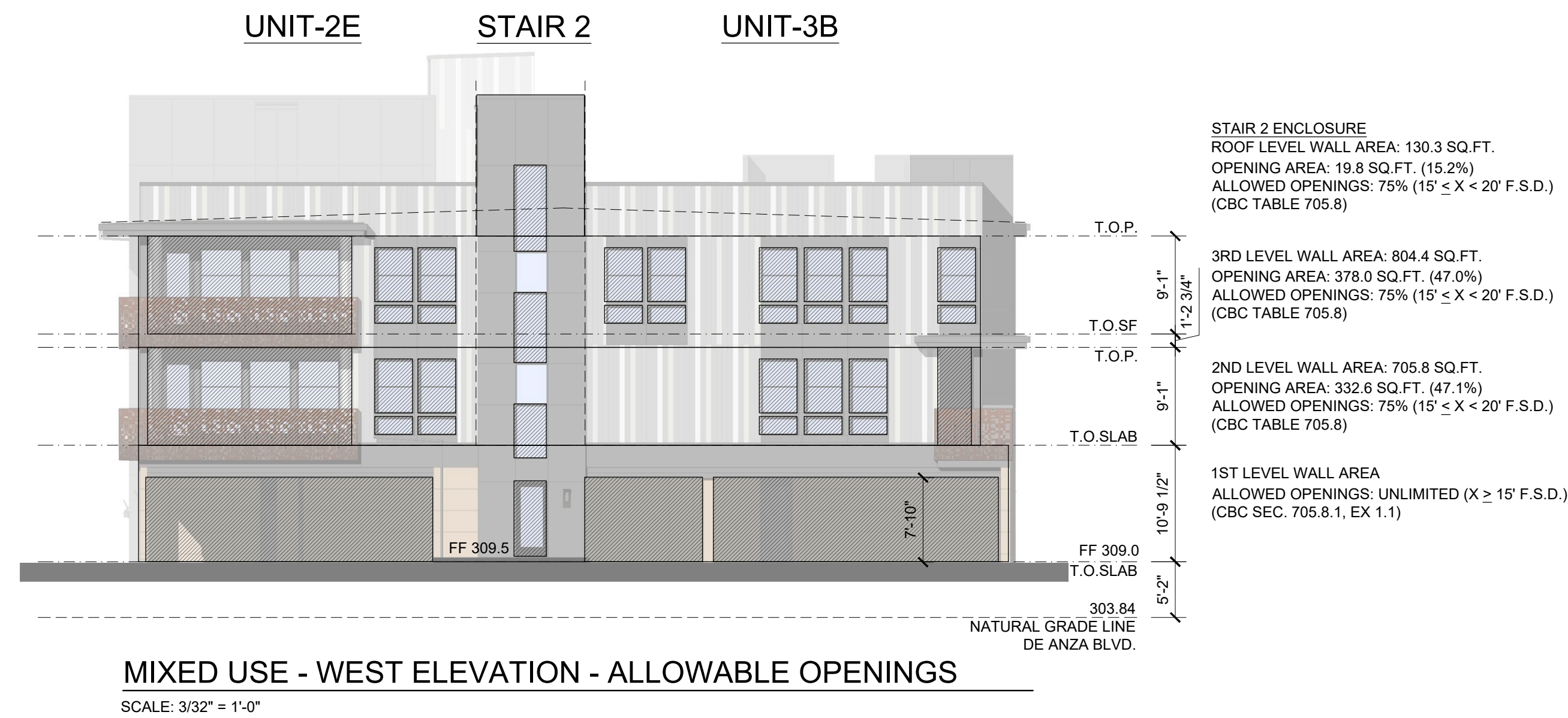
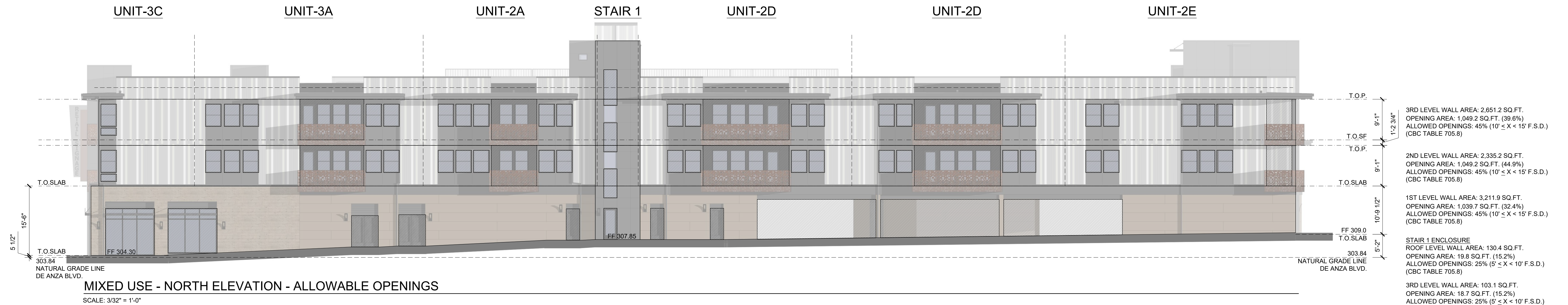
SANTA CLARA COUNTY FIRE DEPARTMENT REQUIREMENTS
REVIEW 2



3RD SUBMITTAL 01-26-2022 ²
2ND SUBMITTAL 10-22-2021 ¹
1ST SUBMITTAL 03-16-2021
JOB NO. 1138.009

5865 Owens Drive
Pleasanton, CA 94588
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1655 S DE ANZA BOULEVARD
CUPERTINO, CALIFORNIA

MIXED USE - ALLOWABLE OPENINGS



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