

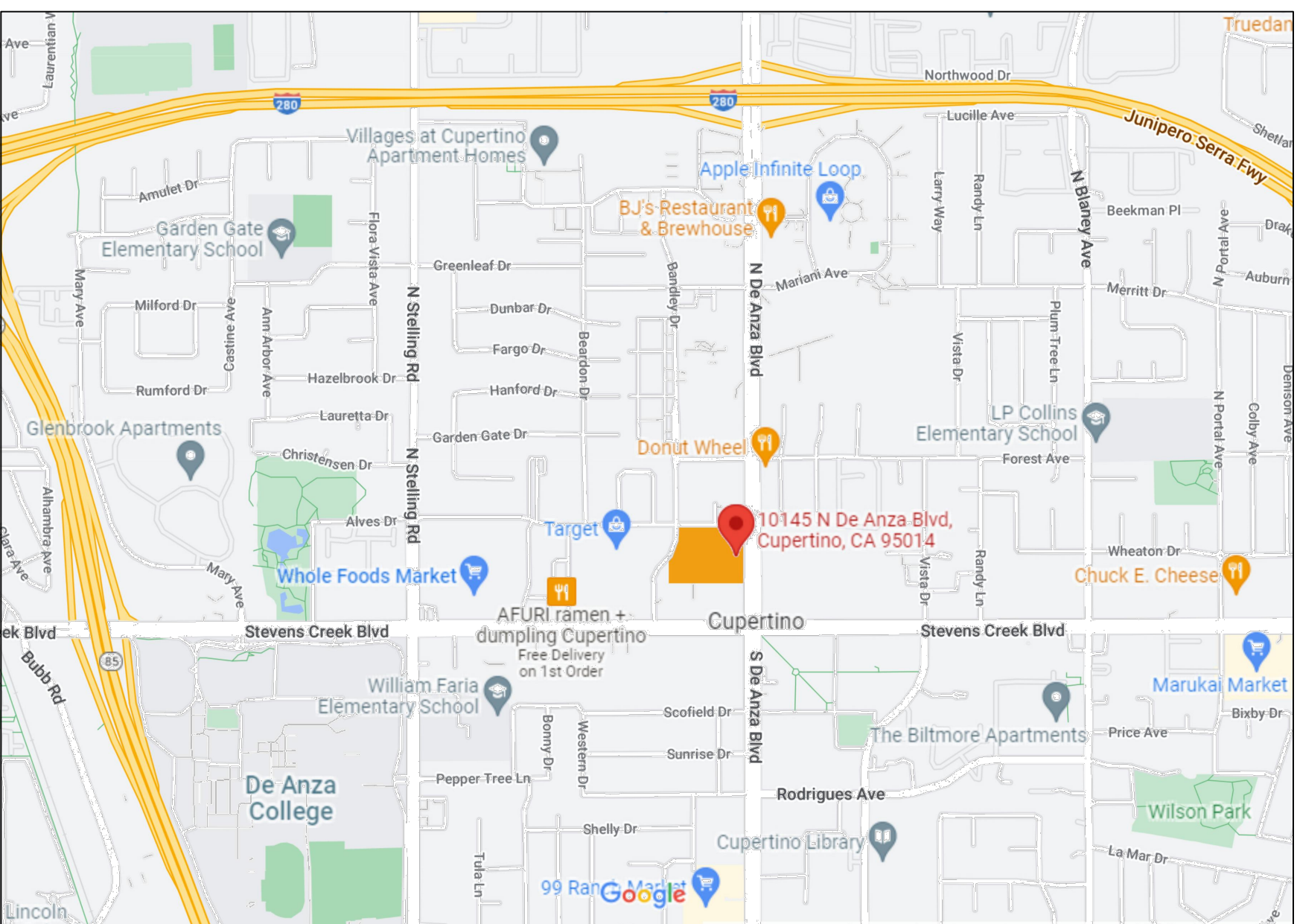
# MARINA PLAZA



## DRAWING INDEX

A0.0	TITLE SHEET	A5.2A	BUILDING A COURTYARD ELEVATIONS
A0.1	DATA SHEET	A5.2B	BUILDING B COURTYARD ELEVATIONS
		A5.2C	BUILDING C COURTYARD ELEVATIONS
T-01	TOPOGRAPHIC SURVEY	A5.3A	BUILDING A COLOR AND MATERIAL SAMPLE
T-02	TOPOGRAPHIC SURVEY	A5.3B	BUILDING B COLOR AND MATERIAL SAMPLE
T-03	TOPOGRAPHIC SURVEY	A5.3C	BUILDING C COLOR AND MATERIAL SAMPLE
TM-1	VESTING TENTATIVE MAP	A7.0	GROUND FLOOR COMMON OPEN SPACE
TM-2	VESTING TENTATIVE MAP	A7.1A	BUILDING A OPEN SPACE
		A7.1B	BUILDING B OPEN SPACE
		A7.1C	BUILDING C OPEN SPACE
C0.1	EXISTING GROUND AND DEMOLITION PLAN	A8.0A	BUILDING A BIRD SAFE EXCEPTION
C1.0	KEY MAP	A8.0B	BUILDING B BIRD SAFE EXCEPTION
C2.0	PRELIMINARY GRADING PLAN	A8.0C	BUILDING C BIRD SAFE EXCEPTION
C2.1	PRELIMINARY GRADING PLAN	A9.0	UNIT PLANS
C3.0	CONCEPTUAL STORMWATER CONTROL PLAN	A9.1	UNIT PLANS
C3.1	STORMWATER CONTROL DETAILS	A9.2	UNIT PLANS
C3.2	STORMWATER CONTROL NOTES	A9.3	UNIT PLANS
C4.0	PRELIMINARY UTILITY PLAN	A9.4	UNIT PLANS
C4.1	PRELIMINARY UTILITY PLAN	A9.5	UNIT PLANS
JT-1	JOINT TRENCH TITLE SHEET	A10.0	PERSPECTIVES
JT-2	JOINT TRENCH NOTES & DETAILS	A10.1	PERSPECTIVES
JT-3	JOINT TRENCH INTENT	A10.2	PERSPECTIVES
		A11.0	PHOTOMETRIC PLAN
A1.0	SITE PLAN	L1.01	LANDSCAPE PLAN - SITE
A1.0A	SETBACK ENCROACHMENT PLAN	L1.02	LANDSCAPE PLAN - 2ND FLOOR
A1.0B	SETBACK ENCROACHMENT SECTION	L1.03	LANDSCAPE PLAN - 3RD FLOOR
A1.0C	1/2 BLDG. HEIGHT SETBACK AFFECTED AREA	L1.04	LANDSCAPE PLAN - ROOF DECK
A1.0D	45' MAX HEIGHT AFFECTED AREA PLANS/SECTIONS	L2.01	PRECEDENT & MATERIAL IMAGES
A2.0	BASEMENT	L2.02	PUBLIC ART CONCEPT
A2.1	GROUND FLOOR PLAN	L2.03	PRELIMINARY PLANTING PALETTE
A2.2AL	BUILDING ALLOWABLE AREA	L3.01	PRELIMINARY PLANTING PLAN - SITE
A2.2	1ST FLOOR PLAN (COURTYARD)	L3.02	PRELIMINARY PLANTING PLAN - 2ND FLOOR
A2.3	2ND FLOOR PLAN	L3.03	PRELIMINARY PLANTING PLAN - 3RD FLOOR
A2.4	3RD FLOOR PLAN	L3.04	PRELIMINARY PLANTING PLAN - ROOF DECK
A2.5	4TH FLOOR PLAN	L3.05	TREE SURVEY
A2.6	ROOF PLAN		
A2.7	SITE ACCESSIBILITY PLAN	TR0.1	STAGING TRUCK CIRCULATION
A2.8FLA	FIRE LADDER ACCESS PLAN	TR0.2	LEVEL 1 PLAN
A2.9FL	SITE PLAN FIRE LANE	TR0.3	LEVEL B1 PLAN
A3.2	1ST FLOOR (COURTYARD) AFFORDABLE UNIT PLAN	TR0.4	BUILDING A TRASH
A3.3	2ND FLOOR AFFORDABLE UNIT PLAN	TR0.5	BUILDING B EAST RESIDENTIAL TRASH
A3.4	3RD FLOOR AFFORDABLE UNIT PLAN	TR0.6	BUILDING B WEST RESIDENTIAL TRASH
A3.5	4TH FLOOR AFFORDABLE UNIT PLAN	TR0.7	BUILDING B RETAIL TRASH
A4.0	SECTIONS	TR0.8	BUILDING C TRASH
A5.0A	BUILDING A ELEVATIONS	TR0.9	STAGING PLAN
A5.0B	BUILDING B ELEVATIONS		
A5.0C	BUILDING C ELEVATIONS		
A5.1A	BUILDING A ELEVATIONS		
A5.1B	BUILDING B ELEVATIONS		
A5.1C	BUILDING C ELEVATIONS		

## VICINITY MAP



## PROJECT DIRECTORY

**OWNER**  
**DE ANZA VENTURES**  
 10122 Bandlely Dr.  
 Cupertino, CA 95014  
 tel (925) 550-8082

**CIVIL ENGINEER**  
**VER CONSULTANTS**  
 1154 Park Avenue  
 San Jose, CA 95126  
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 2 Theatre Square, Suite 218  
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**VIZION UTILITY**  
 7901 STONERIDGE DR. SUITE 200  
 PLEASANTON, CA 94588  
 tel (925) 682-1114 X 232

**TRASH MANAGEMENT**  
**AMERICAN TRASH MANAGEMENT**  
 1900 POWELL ST, SUITE 220  
 EMERYVILLE, CA 94608  
 tel (415) 292-5400

# MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLELY DR. CUPERTINO, CALIFORNIA  
 De Anza Venture, LLC

## TITLE SHEET



**JOB NO.**  
**DATE** 7-27-22  
 Tectonic Architects & Associates  
 10118 Bandlely Dr. #E  
 Cupertino, CA 95014  
 408-216-0804

# A0.0

**RESIDENTIAL UNIT SUMMARY**

**UNIT TOTAL / RATIO**

RESIDENTIAL UNIT TOTAL					
UNIT TYPE	BLDG A	BLDG B	BLDG C	SUM	RATIO
1BDRM	0	9	0	9	4.4%
2BDRM	16	35	32	83	40.3%
2BDRM+DEN	8	9	4	21	10.2%
3BDRM	28	18	24	70	34.0%
3BDRM+DEN	4	15	4	23	11.2%
<b>SUM</b>	<b>56</b>	<b>86</b>	<b>64</b>	<b>206</b>	

**UNIT # PER BUILDING**

BUILDING A					
UNIT TYPE	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	TOTAL UNIT #
1BDRM	0	0	0	0	0
2BDRM	4	4	4	4	16
2BDRM+DEN	2	2	2	2	8
3BDRM	7	7	7	7	28
3BDRM+DEN	1	1	1	1	4
<b>SUM</b>	<b>14</b>	<b>14</b>	<b>14</b>	<b>14</b>	<b>56</b>

BUILDING B					
UNIT TYPE	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	TOTAL UNIT #
1BDRM	4	3	2	0	9
2BDRM	11	12	12	3	35
2BDRM+DEN	3	3	3	0	9
3BDRM	6	6	6	3	18
3BDRM+DEN	5	5	5	0	15
<b>SUM</b>	<b>29</b>	<b>29</b>	<b>28</b>	<b>86</b>	

BUILDING C					
UNIT TYPE	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	TOTAL UNIT #
1BDRM	0	0	0	0	0
2BDRM	8	8	8	8	32
2BDRM+DEN	1	1	1	1	4
3BDRM	6	6	6	6	24
3BDRM+DEN	1	1	1	1	4
<b>SUM</b>	<b>16</b>	<b>16</b>	<b>16</b>	<b>16</b>	<b>64</b>

**UNIT SF PER BUILDING**

BUILDING A					
UNITS	UNIT TYPE	GROSS AREA (SF)	BALCONY SPACE (SF)	UNIT #	TOTAL GROSS AREA (SF)
M2	2BD	1,111	79	4	4,444
G1	2BD	1,128	75	8	9,024
O2	2BD	1,140	329	1	1,140
O1	2BD	1,256	161	2	2,512
O3	2BD	1,256	82	1	1,256
C1	3BD	1,389	75	28	38,892
B1	2BD + DEN	1,423	93	8	11,384
T1	3BD + DEN	1,649	128	3	4,947
T3	3BD + DEN	1,594	128	1	1,594
<b>SUM</b>				<b>56</b>	<b>75,193</b>

BUILDING B					
UNITS	UNIT TYPE	GROSS AREA (SF)	BALCONY SPACE (SF)	UNIT #	TOTAL GROSS AREA (SF)
A4	1BD	780	70	9	7,020
G1	2BD	1,128	75	27	30,456
Q1	2BD	1,141	75	5	5,705
Q2	2BD	1,141	180	1	1,141
D3	2BD	1,222	78	2	2,444
C1	3BD	1,389	75	15	20,835
B1	2BD + DEN	1,423	93	6	8,538
P1	2BD + DEN	1,454	75	3	4,362
X1	3BD	1,480	99	3	4,440
T1	3BD + DEN	1,649	128	12	19,788
S1	3BD + DEN	1,886	159	3	5,658
<b>SUM</b>				<b>86</b>	<b>110,387</b>

BUILDING C					
UNITS	UNIT TYPE	GROSS AREA (SF)	BALCONY SPACE (SF)	UNIT #	TOTAL GROSS AREA (SF)
K2	2BD	1,018	75	4	4,072
K1	2BD	1,055	75	8	8,440
G5	2BD	1,077	193	1	1,077
G6	2BD	1,104	140	1	1,104
G4	2BD	1,112	75	8	8,896
G1	2BD	1,128	75	10	11,280
J2	3BD	1,419	81	16	22,704
N1	2BD + DEN	1,488	124	4	5,952
R2	3BD	1,600	214	2	3,200
R3	3BD	1,619	128	2	3,238
T1	3BD + DEN	1,649	128	4	6,596
R1	3BD	1,646	71	4	6,584
<b>SUM</b>				<b>64</b>	<b>83,143</b>

**UNIT TYPE INFORMATION**

UNITS	UNIT TYPE	GROSS AREA (SF)	BALCONY AREA (SF)	UNIT #	TOTAL GROSS AREA (SF)
A4	1BD	780	70	9	7,020
K2	2BD	1,018	75	4	4,072
K1	2BD	1,055	75	8	8,440
G5	2BD	1,077	193	1	1,077
G6	2BD	1,104	140	1	1,104
M2	2BD	1,111	79	4	4,444
G4	2BD	1,112	75	8	8,896
G1	2BD	1,128	75	45	50,760
O2	2BD	1,140	329	1	1,140
Q1	2BD	1,141	75	5	5,705
Q2	2BD	1,141	180	1	1,141
D3	2BD	1,222	78	2	2,444
O3	2BD	1,256	82	1	1,256
O1	2BD	1,256	161	2	2,512
C1	3BD	1,389	75	43	59,727
J2	3BD	1,419	81	16	22,704
B1	2BD + DEN	1,423	93	14	19,922
P1	2BD + DEN	1,454	75	3	4,362
X1	3BD	1,480	99	3	4,440
N1	2BD + DEN	1,488	124	4	5,952
T3	3BD + DEN	1,594	128	1	1,594
R2	3BD	1,600	214	2	3,200
R3	3BD	1,619	128	2	3,238
R1	3BD	1,646	71	4	6,584
T1	3BD + DEN	1,649	128	19	31,331
S1	3BD + DEN	1,886	159	3	5,658
<b>SUM</b>				<b>206</b>	<b>268,723</b>

**PARKING SUMMARY**

**TOTAL PARKING SUM.**

	RETAIL	RESIDENTIAL	SUM
SURFACE PARKING	188	0	188
GARAGE PARKING	81	338	419
<b>TOTAL PARKING</b>	<b>269</b>	<b>338</b>	<b>607</b>

**RETAIL PARKING**

BUILDING A							
RETAIL A	AREA (SF)	PARKING RATIO	CHAIR #	RATIO	REQUIRED # BY RATIO	EMPLOYEE PARKING	REQUIRED SPACES
RETAIL A100	2,151	250			9	3	12
RETAIL A101	1,145	250			5	2	7
RETAIL A102	2,188	250			9	3	12
RETAIL A103	1,606	250			7	2	9
RETAIL/CAFÉ A104	1,198		24	4	6	2	8
RETAIL A105	1,059	250			5	2	7
<b>SUM</b>	<b>9,347</b>				<b>41</b>	<b>14</b>	<b>55</b>

BUILDING B							
RETAIL/RESTAURAN B	AREA (SF)	PARKING RATIO	CHAIR #	RATIO	REQUIRED # BY RATIO	EMPLOYEE PARKING	REQUIRED SPACES
RETAIL/RESTAURAN B100	4,448		88	4	22	10	32
RETAIL/RESTAURAN B101	5,369		96	4	24	10	34
RETAIL B102	1,782	250			8	3	11
RETAIL B103	1,553	250			7	3	10
RETAIL B104	1,583	250			7	2	9
RETAIL/RESTAURAN B105	2,899		48	3	16	5	21
RETAIL B106	1,046	250			4	2	6
RETAIL B107	1,290	250			5	2	7
RETAIL B108	1,454	250			6	2	8
RETAIL B109	1,378	250			5	2	7
<b>SUM</b>	<b>22,802</b>						<b>145</b>

BUILDING C							
RETAIL/RESTAURAN C	AREA (SF)	PARKING RATIO	CHAIR #	RATIO	REQUIRED # BY RATIO	EMPLOYEE PARKING	REQUIRED SPACES
RETAIL/RESTAURAN C100	1,898		32	3	11	4	15
RETAIL/RESTAURAN C101	2,362		40	3	14	5	19
RETAIL C102	1,153	250			5	2	7
RETAIL/RESTAURAN C103	1,727		32	3	11	4	15
RETAIL C104	1,500	250			6	2	8
RETAIL C105	800	250			4	1	5
<b>SUM</b>	<b>9,440</b>						<b>69</b>

RETAIL TOTAL (SF)			TOTAL REQUIRED PARKING
RETAIL PARKING REQUIRED	41,589		269
RETAIL PARKING PROVIDED			269
BLDG A	55	31	
BLDG B	145	66	
BLDG C	69	45	
ON SITE		46	
GARAGE/RETAIL PARKING		81	
<b>SUM</b>	<b>269</b>	<b>269</b>	

**RESIDENTIAL PARKING**

Unit Type	UNIT #	FACTOR	REQUIRED	DBL FACTOR	DBL REQUIRED	TOTAL PROVIDED	SURPLUS
1 BDRM	9	2	18	1	9	9	
2 BDRM	83	2	166	1.5	125	125	
2 BDRM+DEN	21	2	42	1.5	32	32	
3 BDRM	12	2	24	1.5	18	18	
3 BDRM W/ TANDEM PARKING	58	2	116	2	116	116	
3BDRM+DEN	23	2	46	1.5	35	35	
						4	
<b>SUM</b>	<b>206</b>		<b>412</b>		<b>334</b>	<b>338</b>	<b>4</b>

**BICYCLE PARKING**

RETAIL BICYCLE PARKING (CLASS II)	RETAIL AREA (SF)	FACTOR (1SPACE/2500SF)	REQUIRED	PROVIDED	SURPLUS
BLDG A	9,347	2,500	4	14	
BLDG B	22,802	2,500	10	20	
BLDG C	9,440	2,500	4	14	
<b>SUM</b>	<b>41,589</b>		<b>18</b>	<b>48</b>	<b>30</b>

RESIDENTIAL BICYCLE PARKING	UNITS	FACTOR (1SPACE/10UNIT)	REQUIRED	PROVIDED	SURPLUS
BLDG A	56	10	6	9	
BLDG B	86	10	9	12	
BLDG C	64	10	7	9	
<b>SUM</b>	<b>206</b>		<b>22</b>	<b>30</b>	<b>8</b>

REQUIRED FACTOR SEE TABLE 19.124.040(A)

LONG TERM BIKE PARKING (CLASS I)	UNITS	FACTOR (1SPACE/2UNIT)	REQUIRED	PROVIDED	SURPLUS
BLDG A	56	2	28	32	
BLDG B	86	2	43	48	
BLDG C	64	2	32	36	
<b>SUM</b>	<b>206</b>		<b>103</b>	<b>116</b>	<b>13</b>

**MOTORCYCLE PARKING**

PROVIDED (2) MOTORCYCLE PARKING AREA FOR EACH BUILDING: (1) FOR RESIDENTIAL & (1) FOR RETAIL. TOTAL AREA PROVIDED: (6)

**FIRE SPRINKLER**

PROVIDE APPROVED FIRE AUTOMATIC SPRINKLER SYSTEM PER CFC. PROVIDE FIREWALLS PER CBC.

NOTE: THE OWNER, OCCUPANTS AND ANY CONTRACTORS OR SUBCONTRACTORS ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2

**MARINA PLAZA**

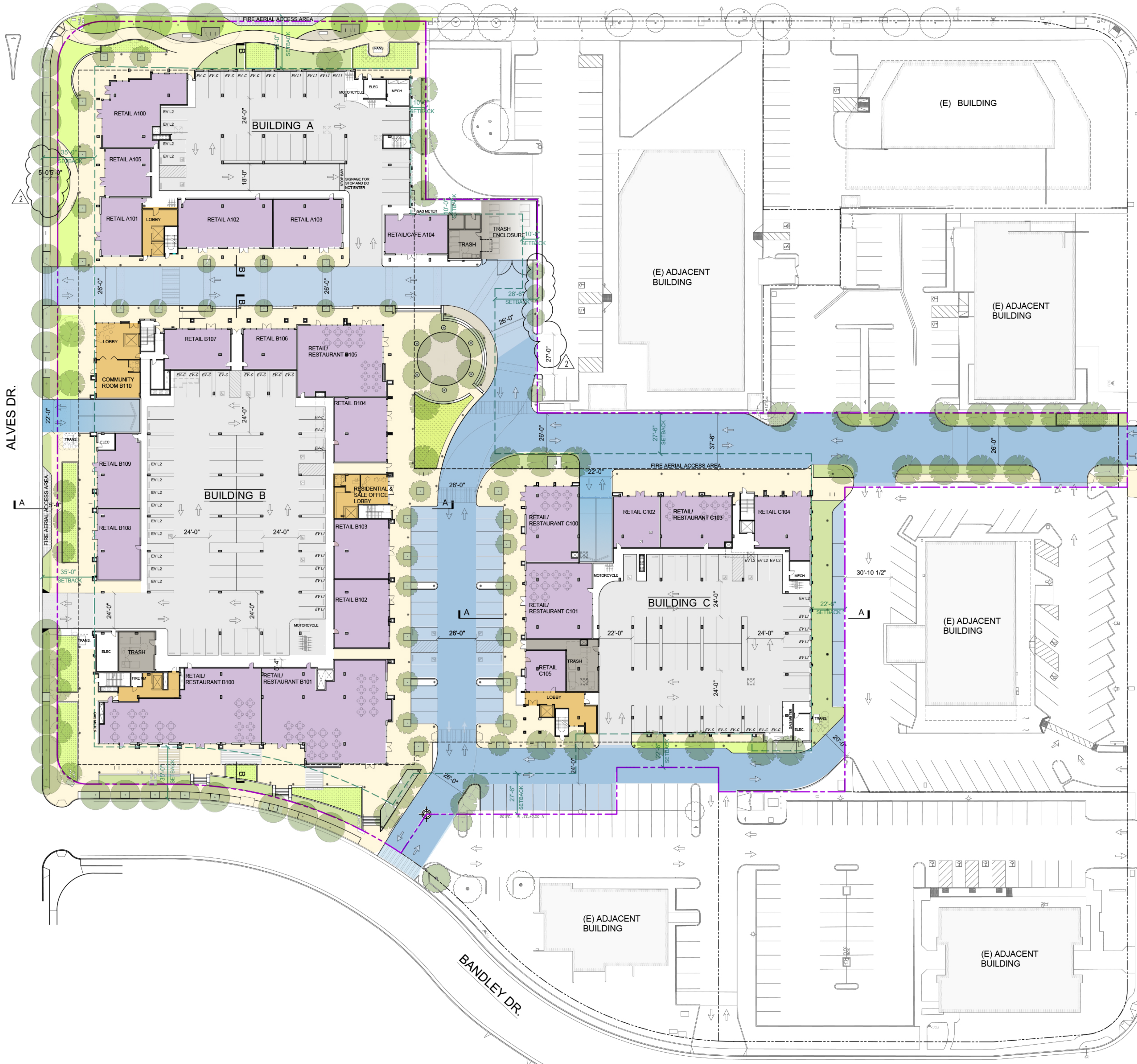
**DEVELOPMENT SUMMARY**

CODE	INFO	CHAPTER
SITE APN (PARCEL AT DE ANZA BLVD.)	326-34-043	
SITE APN (PARCEL AT BANDLEY DR.)	326-34-066	
GENERAL PLAN DESIGNATION	COMMERCIAL, OFFICE, RESIDENTIAL (COR)	
ZONING DESIGNATION - P (CG, RES)	HEART OF THE CITY SPECIFIC PLAN (HCSP)	CROSSROADS AREA (POLICY 2-28, PG.29)

MARINA LOT AREA CALCULATIONS				
EXISTING	DE ANZA LOT	BANDLEY LOT	SREET DEDICATION	TOTAL
	0.768 AC	4.348 AC		5.114 AC

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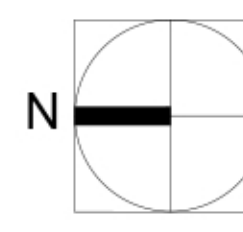
N. DE ANZA BLVD



LEGEND

- PROPERTY LINE
- SETBACK
- BASEMENT BELOW
- LANDSCAPE SLD.
- INGRESS, EGRESS & EASEMENT
- RETAIL
- VEHICLE CIRCULATION
- VEHICLE GARAGE ENTRY RAMP
- RESIDENTIAL LOBBY
- RETAIL TRASH ROOM
- SIDEWALKS

SITE PLAN  
SCALE: 1" = 30'



JOB NO.  
DATE 9-27-22

Tectonic Architects & Associates  
10118 Bandley Dr. #E  
Cupertino, CA 95014  
408-216-0804



A1.0

# MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA  
De Anza Venture, LLC

N. DE ANZA BLVD

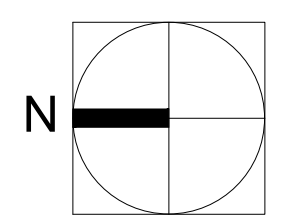
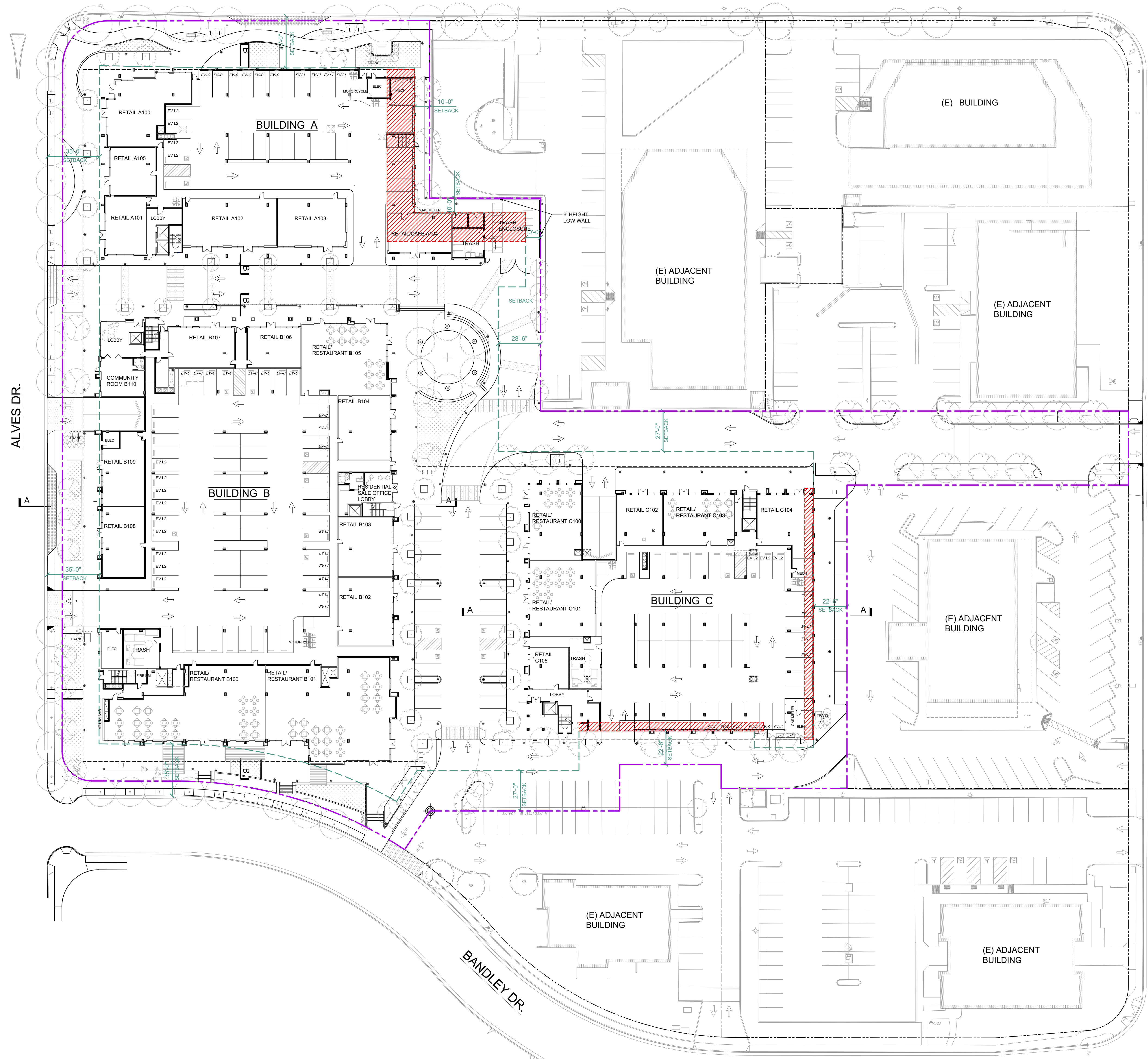
STEVENS CREEK BLVD.

ALVES DR.

BANDLEY DR.

LEGEND

-  PROPERTY LINE
-  SETBACK
-  ENCROACHMENT AREA



SETBACK  
ENCROACHMENT PLAN  
SCALE: 1" = 30'



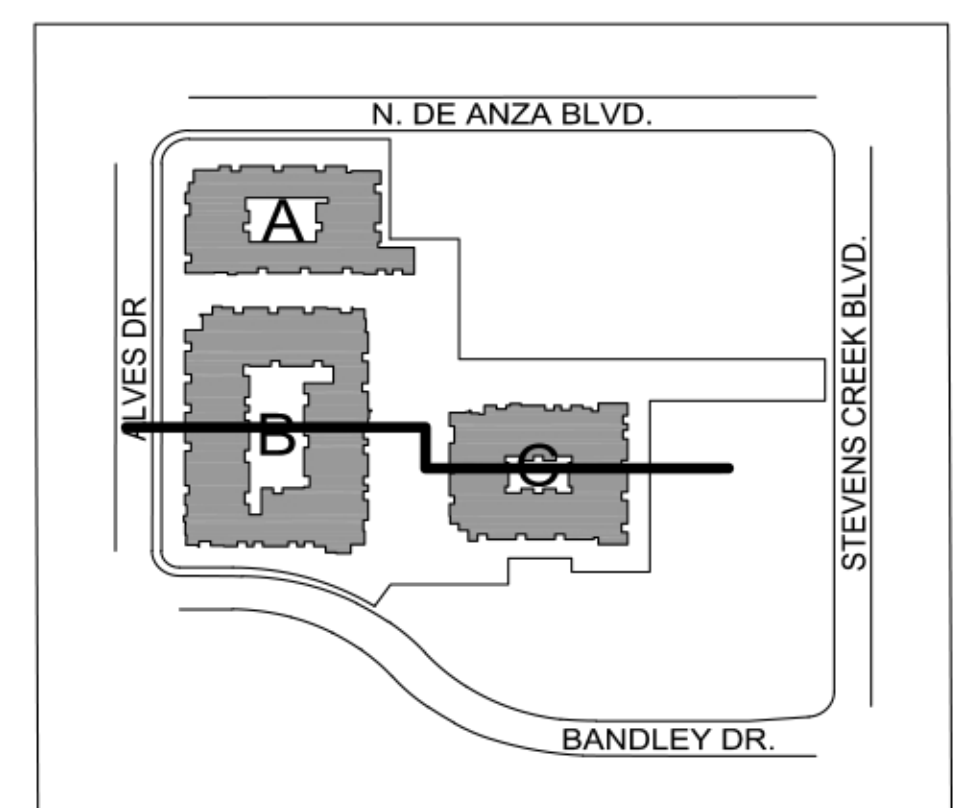
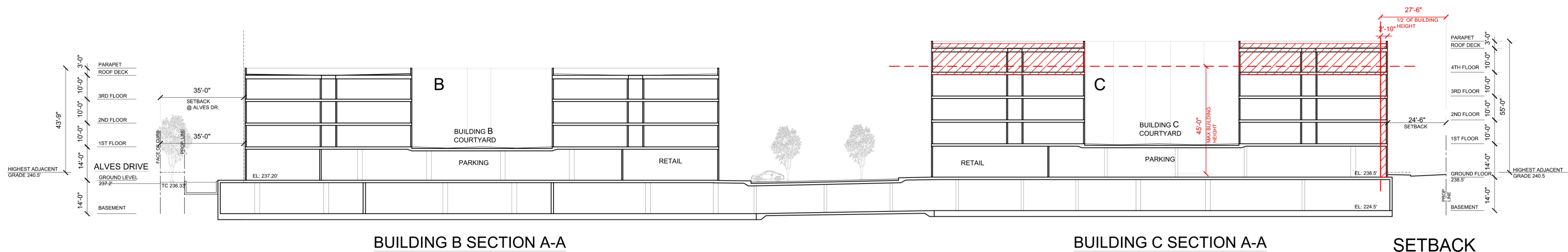
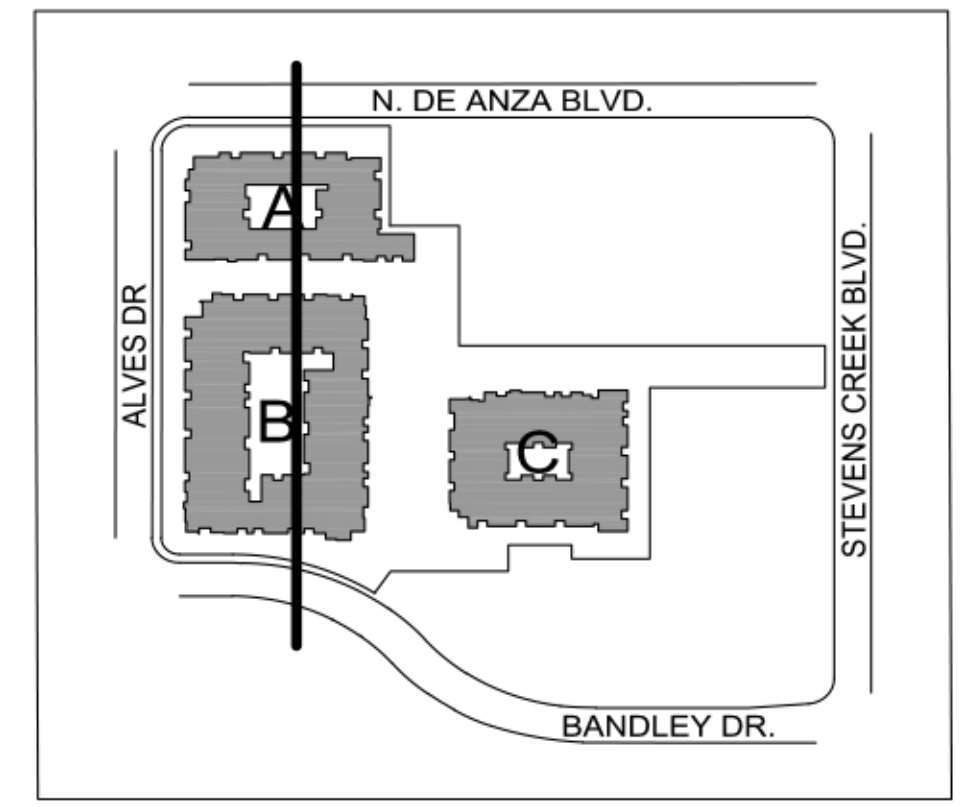
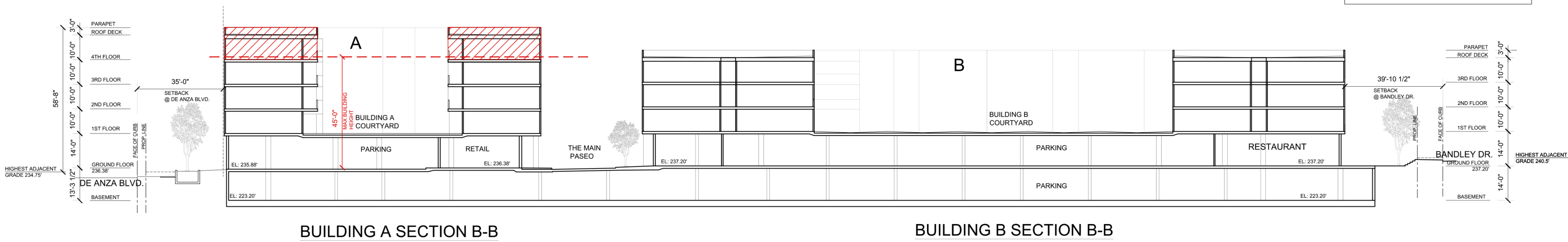
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DATE 9-27-22  
Tectonic Architects & Associates  
10118 Bandley Dr. #E  
Cupertino, CA 95014  
408-216-0804



A1.0A

# MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA  
De Anza Venture, LLC



**SETBACK ENCROACHMENT SECTIONS**  
SCALE: 1/16" = 1'

# MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA  
De Anza Venture, LLC

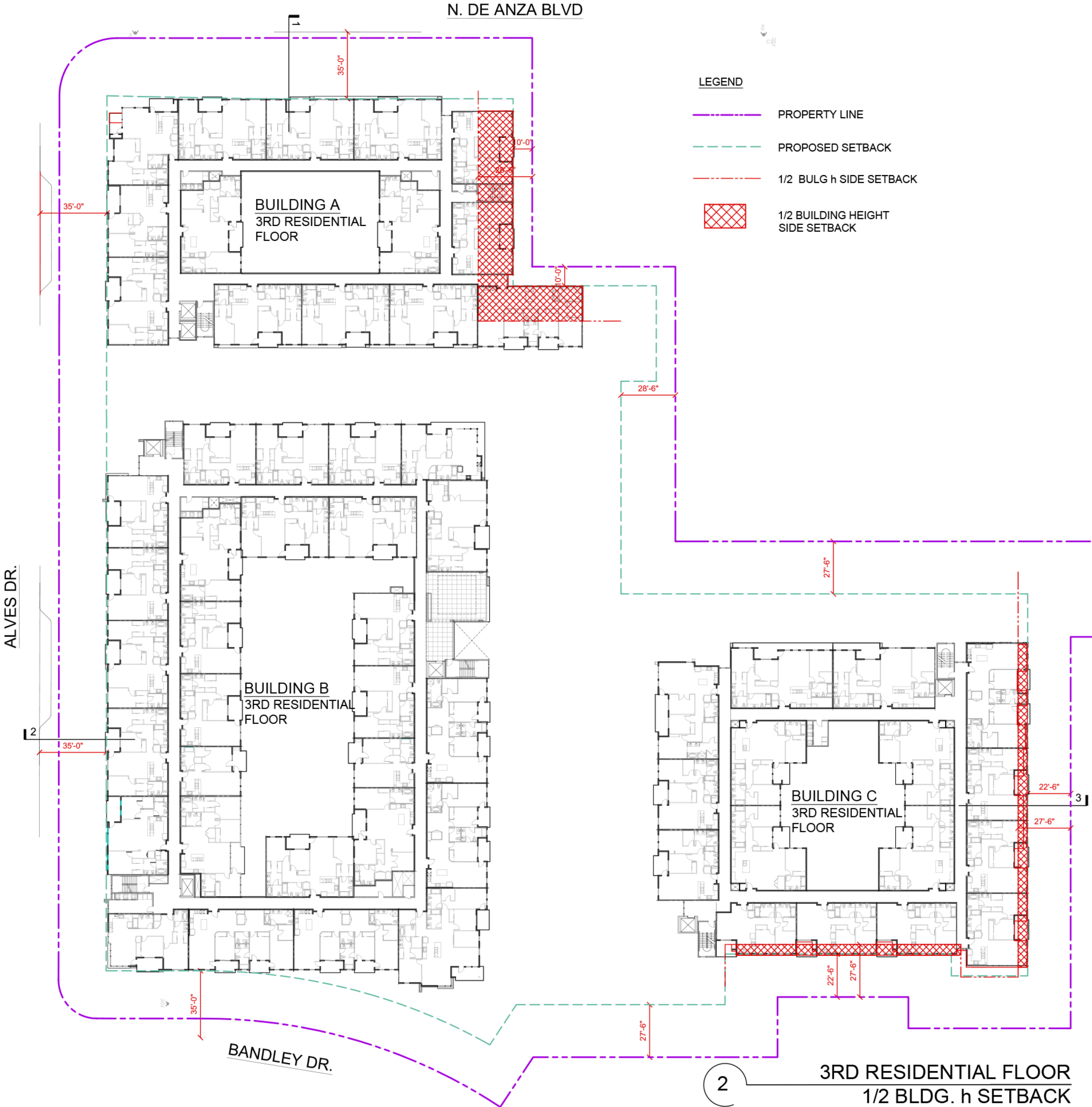


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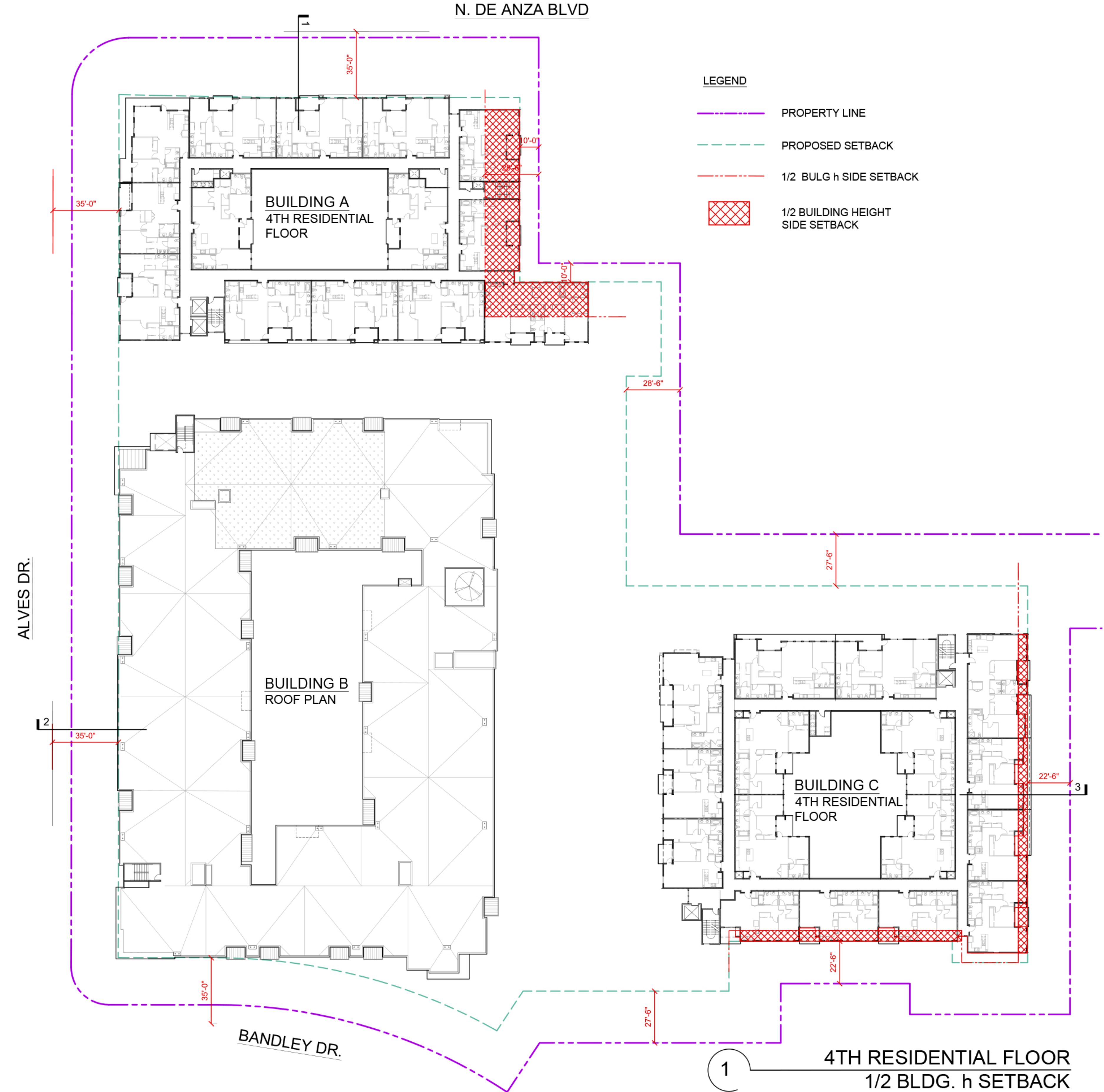
Tectonic Architects & Associates  
10118 Bandley Dr. #E  
Cupertino, CA 95014  
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**A1.0B**

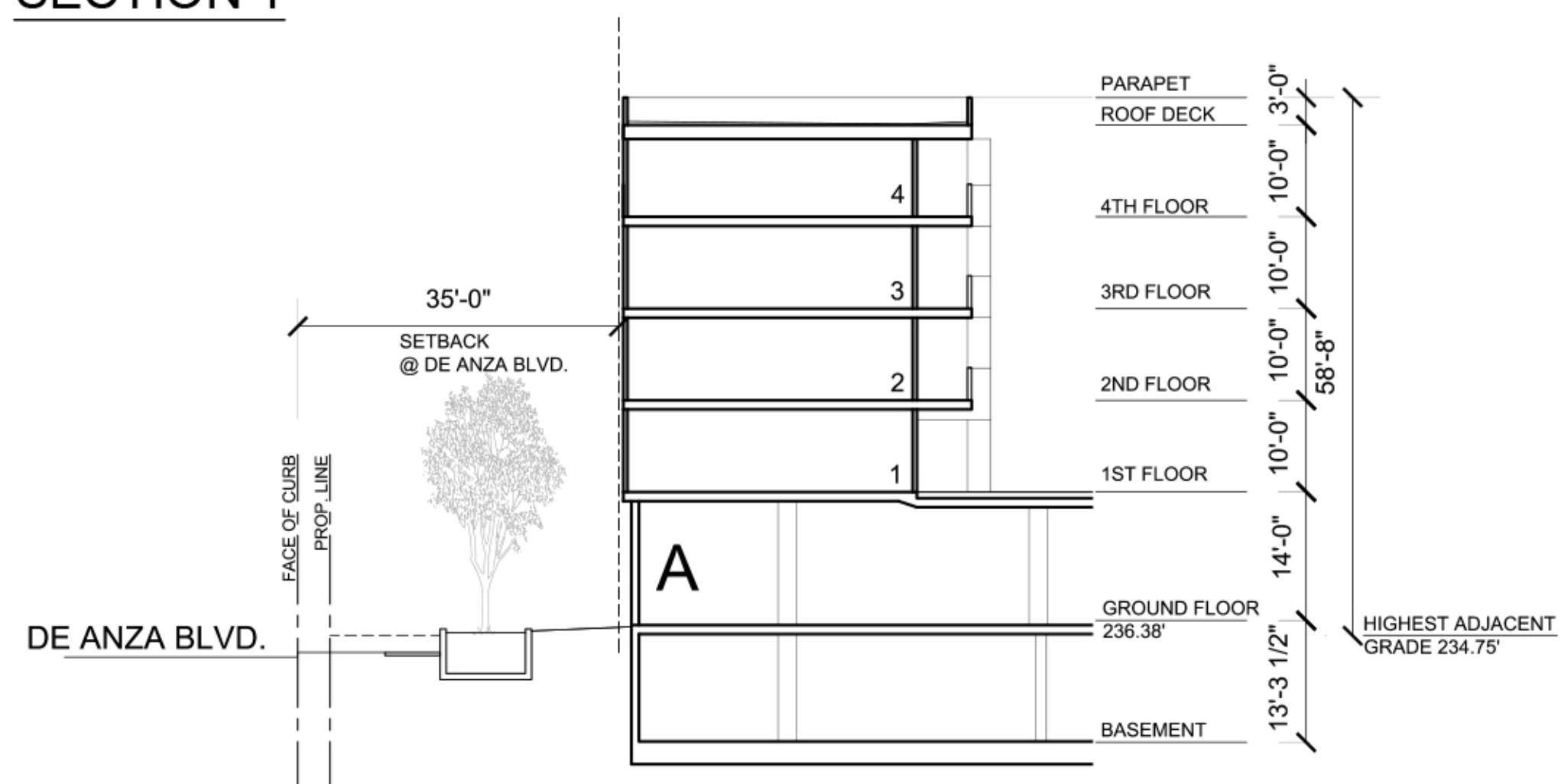
N. DE ANZA BLVD



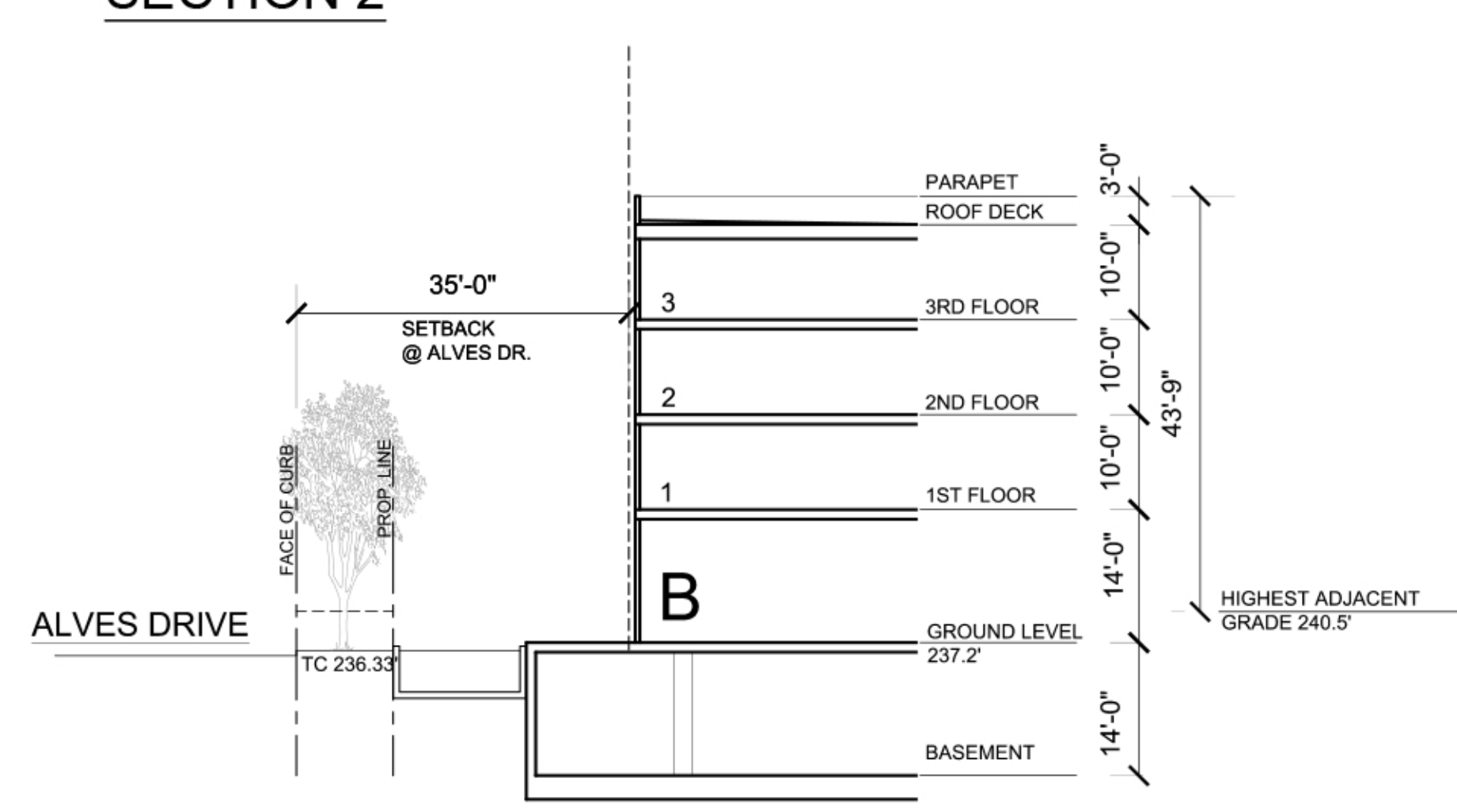
N. DE ANZA BLVD



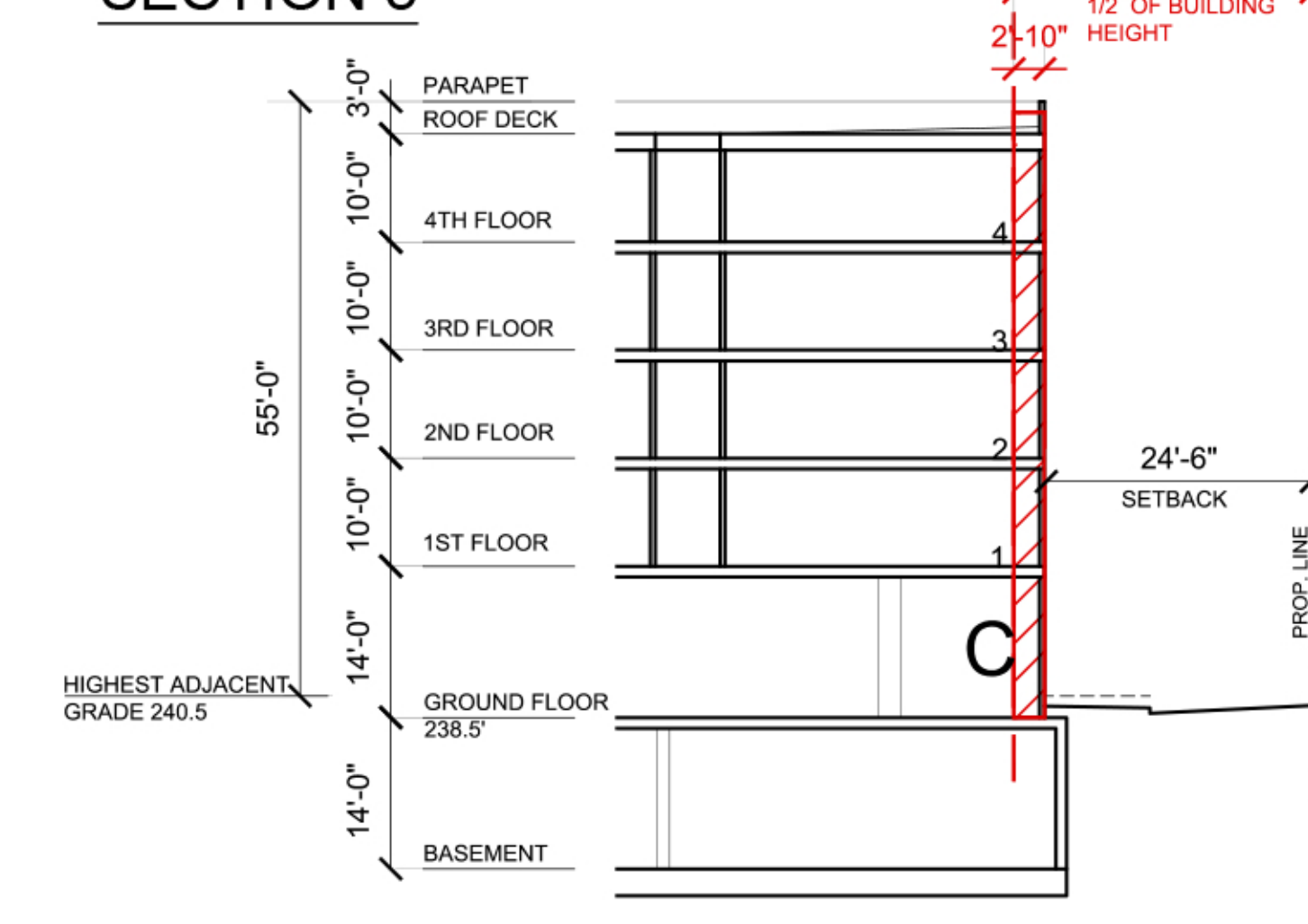
SECTION 1



SECTION 2

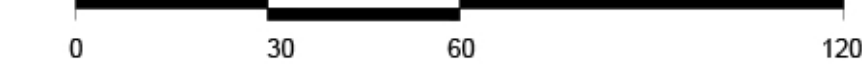


SECTION 3



1/2 BLDG. HEIGHT SETBACK AFFECTED AREA PLAN

SCALE: 1" = 30'



JOB NO. DATE 9-27-22/2

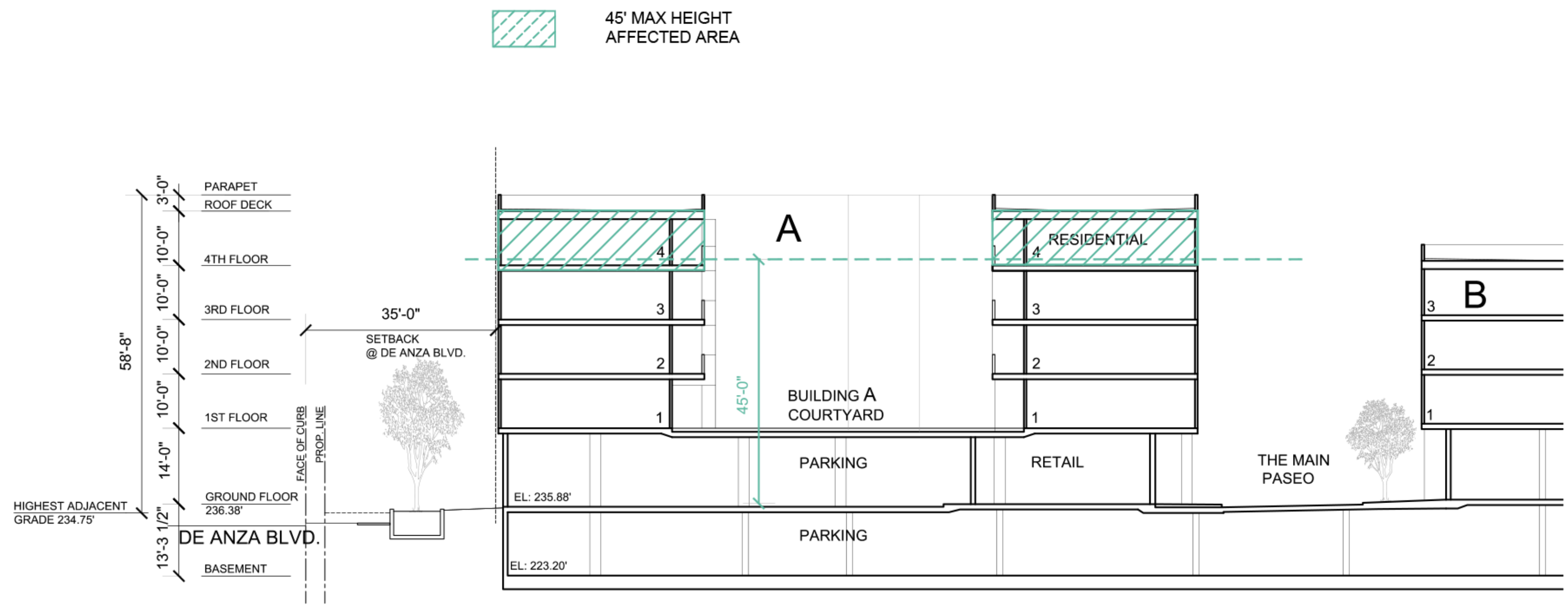
Tectonic Architects & Associates 10118 Bandley Dr. #E Cupertino, CA 95014 408-216-0804



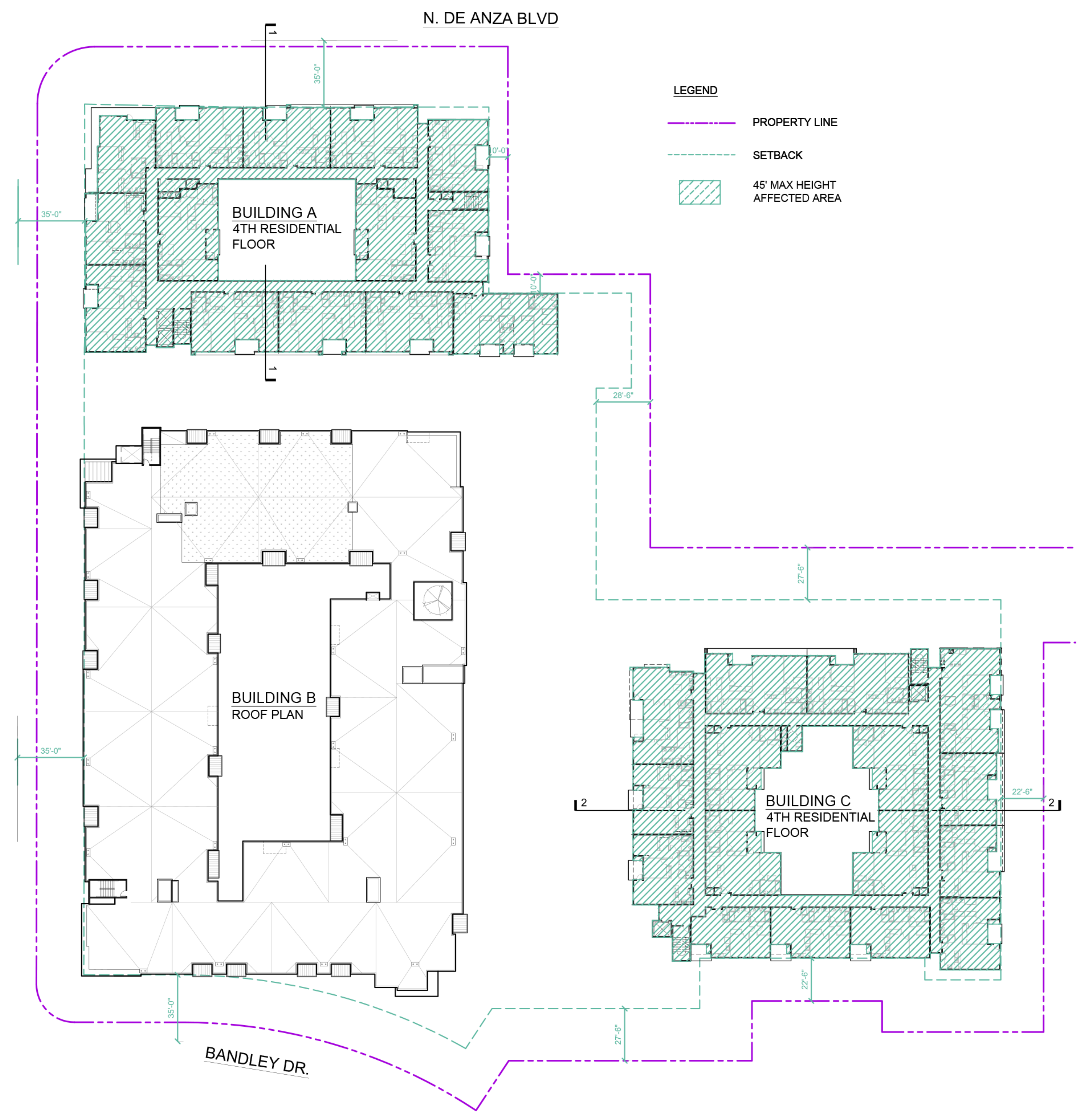
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MARINA PLAZA

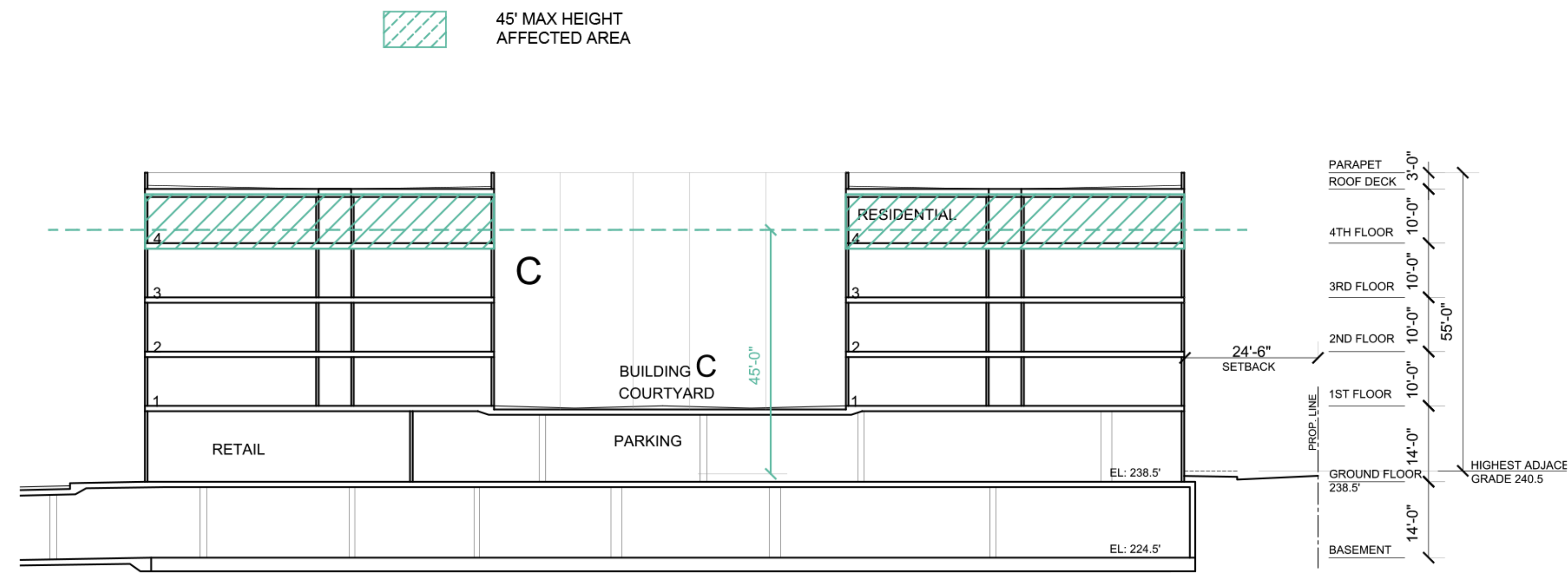
10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA De Anza Venture, LLC



2 BUILDING A 45' MAX HEIGHT AFFECTED AREA SECTION 1-1  
1/16" = 1'-0"



1 BUILDING A & B 4TH FLOOR PLAN 45' MAX HEIGHT AFFECTED AREA



3 BUILDING C 45' MAX HEIGHT AFFECTED AREA SECTION 2-2  
1/16" = 1'-0"

45' MAX HEIGHT AFFECTED AREA PLANS / SECTIONS

MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA  
De Anza Venture, LLC



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DATE 9-27-22  
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# MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA  
De Anza Venture, LLC

## LEGEND

- PROPERTY LINE
- SETBACK
- BUILDING OUTLINE ABOVE
- LANDSCAPE
- DESIGNATED RETAIL PARKING
- RESIDENTIAL TRASH ROOM
- MOTORCYCLE
- CIRCULATION
- BICYCLE
- ELEVATOR / STAIR
- EV PARKING LEVEL 1
- EV PARKING LEVEL 2

## PARKING PROVIDED

PARKING			
	RETAIL	RESIDENTIAL	SUM
SURFACE PARKING	188	0	188
GARAGE PARKING	81	338	419
<b>TOTAL PARKING</b>	<b>269</b>	<b>338</b>	<b>607</b>

	RETAIL PARKING REQUIRED	RETAIL PARKING PROVIDED	
BLDG A	55	31	
BLDG B	145	66	
BLDG C	69	45	
ON SITE		46	
GARAGE/RETAIL PARKING		81	
<b>TOTAL</b>	<b>269</b>	<b>269</b>	OK

A (31) + B (66) + C (45) + surface (46) = 188  
A (99) + B (184) + C (136) = 419

## RESIDENTIAL PARKING SUMMARY (ALL RESIDENTIAL PARKING LOCATED AT BASEMENT)

Unit Type	UNIT #	FACTOR	REQUIRED	DBL FACTOR	DBL REQUIRED	TOTAL PROVIDED	SURPLUS
1 BDRM	9	2	18	1	9	9	
2 BDRM	83	2	166	1.5	125	125	
2 BDRM+DEN	21	2	42	1.5	32	32	
3 BDRM	12	2	24	1.5	18	18	
3 BDRM W/ TANDEM PARKING	58	2	116	2	116	116	
3BDRM +DEN	23	2	46	1.5	35	35	
<b>SUM</b>	<b>206</b>		<b>412</b>		<b>334</b>	<b>338</b>	<b>4 OK</b>

## RESIDENTIAL SHORT TERM BIKE PARKING (CLASS II) SEE A2.1 GROUND FLOOR PLAN

SHORT TERM BIKE PARKING (CLASS II)	UNITS	FACTOR (15SPACE/10UNIT)	REQUIRED	PROVIDED	SURPLUS
BLDG A	56	10	6	9	
BLDG B	86	10	9	12	
BLDG C	64	10	7	9	
<b>SUM</b>	<b>206</b>		<b>22</b>	<b>30</b>	<b>8 OK</b>

REQUIRED FACTOR SEE TABLE 19.124.040(A)

## RESIDENTIAL LONG TERM BIKE PARKING (CLASS I)

LONG TERM BIKE PARKING (CLASS I)	UNITS	FACTOR (15SPACE/2UNIT)	REQUIRED	PROVIDED	SURPLUS
BLDG A	56	2	28	32	
BLDG B	86	2	43	48	
BLDG C	64	2	32	36	
<b>SUM</b>	<b>206</b>		<b>103</b>	<b>116</b>	<b>13 OK</b>

## RESIDENTIAL ELECTRIC VEHICLE PARKING SUMMARY

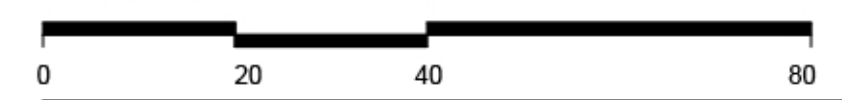
Total # of Parking Spaces: 607 (269 retail/commercial and 338 residential)

EV Parking Space Type	% Required Pursuant to BAAQMD Standards = CALGreen Tier 2 (Voluntary Standards)	Number of Spaces Required	% Required Pursuant to CMC Code Chapter 16.58	Number of Spaces Required	Current EV Spaces Provided
<b>Residential - Apartments (market rate) (170 units)</b>					
EV Capable	20% of total spaces	68	N/A	N/A	0
EV Ready Circuit Level 1	N/A	N/A	75% of units have 1 space	128	128
EV Ready Circuit Level 2	N/A	N/A	25% of units have 1 space	43	43
<b>Residential - Apartments (BMR Units) (36 units)</b>					
EV Capable	N/A	N/A	N/A	N/A	0
EV Ready Circuit Level 1	N/A	N/A	90% of units have 1 space	33	33
EV Ready Circuit Level 2	N/A	N/A	10% of units have 1 space	4	4

TOTAL: **LEVEL 1: (161) SPACES + LEVEL 2: (47) SPACES = (208) SPACES**

## BASEMENT

SCALE: 1" = 20'



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A2.0

